

**CITY OF TWIN OAKS  
PLANNING AND ZONING COMMISSION MEETING  
VIRTUAL MEETING  
WEDNESDAY, JANUARY 27, 2021 6:30 P.M.**

To balance both the need for continuity of government and protection of the health and safety of our residents, business persons and employees, this meeting of the Planning and Zoning Commission will not be open to public attendance *in person* but shall be accessible by the public by telephone (audio only) or by using their tablet/laptop/pc (audio/video) at:

**Telephone:** (312) 626-6799

**Computer:** <https://us02web.zoom.us/j/5197276201?pwd=SHZXODU1cGtKOWJNSTFUUFRSQnY5Zz09>

**Webinar ID:** 519-727-6201

**Passcode:** 9YgwmB

In addition, the meeting will also be livestreamed on Facebook so that the public may watch and listen to the meeting virtually. The livestream of the meeting will be accessible by tablet/laptop/PC or mobile device at [www.facebook.com/twinoaksmo](http://www.facebook.com/twinoaksmo).

The Commission apologizes for any inconvenience these requirements may pose but it is extremely important all measures in compliance with the orders issued by public health authorities be taken to protect employees, residents, and elected officials during these extraordinary times.

**Tentative Agenda**

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF THE AGENDA
5. APPROVAL OF THE CONSENT AGENDA
  - a. October 27, 2020 Minutes
6. NEW BUSINESS
  - a. Consideration of Aldi's preliminary/final development plan for 1100 Meramec Station Road.
  - b. Consideration of amendments to Sections 400.490 and 400.500 of the City of Twin Oaks Municipal Code pertaining to occupancy permit fees and related text.
7. MISCELLANEOUS
8. ADJOURNMENT

Frank Johnson  
City Clerk

POSTED: January 22, 2021, 2 p.m.

**Please note:** Any person requiring physical or verbal accommodations should contact the city office 12 hours prior to meeting at 636-225-7873. Copies of public records for this agenda are available on the City's website or at City Hall for public inspection before and at the time of the meeting.



# CITY OF TWIN OAKS

1381 Big Bend Road • Twin Oaks, MO 63021  
(636) 225-7873 • fax (636) 225-6547 • [www.cityoftwinoaks.com](http://www.cityoftwinoaks.com)

## “C” COMMERCIAL DISTRICT APPLICATION FOR PRELIMINARY DEVELOPMENT PLAN

The preliminary development plan application constitutes a petition to allow a more flexible but detailed plan. **Eighteen (18) copies** of the preliminary development plan shall be submitted, and shall be accompanied by all general application requirements, including an initial application fee. See Fee and Deposit Schedule Section 400.460 of the City Code. The City may require the applicant to deposit additional funds for expenses incurred, but not limited to, costs of title research, surveys, legal and engineering review, cost of traffic and planning or other consultants employed by the City, publication expenses, expenses of notifications to adjoining property owners, expenses of hearings, court reporting, if requested by either the City or the applicant. The City office must receive the additional application fees within seven (7) days of notification. **(Please type or print in ink below.)**

### INFORMATION CONCERNING APPLICANT:

Applicant hereby submits the following information concerning the use proposed for the business/site:

**Business/Site Name:** ALDI

**Location/Address:** 1100 MERAMEC STATION ROAD

**Applicant Name:** Vern Wunnenberg

Title of Officer for above Applicant (if a corporation or other legal entity): Director of Real Estate

Officer Full Address: PO Box 8800

Phone #: 636-278-4700

O Fallon, MO 63368

Fax #: 636-278-4773

**Name of Property Owner:** Grocery and Pharmacy Portfolio, DST (Inland Commercial Real Estate Services, LLC - Managing Agent)

Owner Full Address: 2901 Butterfield Road

Phone #: 630-586-6551

Oak Brook, IL 60523

Fax #: 630-320-9855

**Name of Developer:** ALDI

Developer Full Address: PO Box 8800

Phone #: 636-278-4700

O Fallon, MO 63368

Fax #: 636-278-4773

**Name of Architect and/or Engineer:** CIVIL ENGINEERING DESIGN CONSULTANTS, INC.

What are the business hours of operation (existing or proposed)? 9 am a.m./p.m. to 9 pm a.m./p.m.

Will product be sold which is subject to retail sales tax? YES  NO

Date business will begin (if new business) in the Village of Twin Oaks: Q4 2021

Type of Business(es) and detailed description of nature of business(es), organization(s) or trade(s) (existing or proposed):

Grocery retail.

**PRELIMINARY DEVELOPMENT PLAN SUBMISSION REQUIREMENTS:**

One (1) map (1-2 pages) shall be submitted as the preliminary development plan, which includes the following:

- Proposed location of buildings, other structures and lot arrangements.
- Location of existing buildings, other structures and lot arrangements.
- Any existing easements and dedications.
- Adjacent uses and property ownership to a distance of 100 feet from site boundaries.
- Any land areas within the 100-year floodplain.
- Existing and proposed grading and areas of cut and fill.
- Proposed retaining walls or similar slope stabilization structures or methods; height and materials to be used.
- Location, massing and pattern of existing vegetation and trees.
- Existing streams, creeks and other bodies of water.
- Measures taken to minimize development impacts.
- Location, massing and pattern of proposed landscaping and planting.
- Screening and buffer strip areas, open space and other amenities.
- Traffic and parking plan depicting public streets, identifying arterials, collectors and local streets; service and loading areas; points of access to public right-of-way.
- Parking areas, drives and walks.
- Traffic studies of vehicle turning movements, peak and off-peak traffic impacts, existing and proposed levels of service as required by the Board of Aldermen.
- Existing and proposed water, sewer, and storm utility systems, including drainage structures and inlets.
- Provisions for on-site storm water retention and for minimizing impact on existing drainage patterns and facilities.

*Also submitted with this application are: (check ✓ all that have been included)*

- Exterior building sketches** depicting the general style, size and exterior construction materials of the buildings proposed. Where several building types are proposed on the plan, such as apartments and commercial buildings, a separate sketch shall be prepared for each type. Such sketches shall include elevation drawings, but detailed drawings and perspectives are not required.
- All signs** to be attached to building exteriors including the size, location, color and materials.
- Schedules** indicating floor area, site area, coverage, parking spaces, proposed plant materials by type, size and quantity, land use intensity and other qualities specified in the "C" Planned Shopping Center District Regulations.
- Phases of development** If the development will occur in phases, the applicant shall submit a development plan that also displays the entire development at the completion of all phases. The phased development shall have the phases clearly outlined with expected dates for beginning of construction and date of completion of construction. No building permit shall be issued for any phase of development until a final development plan for that phase is approved, in accordance with the provisions of the City Zoning Code.
- Request for Common Master Signage Plan Approval** (See "Request for Master Common Signage Plan" form.)

**REPRESENTATIONS CONCERNING AUTHORITY & COMPLIANCE WITH LAWS.**

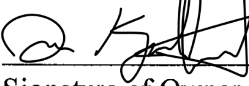
I am authorized by the applicant to sign on his/her/its behalf and have read this application in its entirety. The information contained herein is true, and correct and complete to the best of my knowledge, information and belief. I hereby represent on behalf of applicant that the business(es) conducted by applicant and/or which are the subject of this application do not and will not violate any ordinance of the City of Twin Oaks and now comply and/or will continue to comply fully with the laws of the State of Missouri. Applicant acknowledges that failure to truthfully complete this application or failure to comply with all laws may result in revocation of relevant approvals or permits.

|                                |   |                         |
|--------------------------------|---|-------------------------|
| Wunnenberg, Vern               | <small>Digitally signed by Wunnenberg, Vern<br/>Date: 2020.12.01 21:24:09 -08'00'</small> | 12/1/20                 |
| Signature of Principal/Officer |   | Date                    |
| Vern Wunnenberg                |   | Director of Real Estate |
| Print Name                     |   | Title                   |

**VERIFICATION BY OWNER AND TENANT(S).**

*If the application is on behalf of a tenant for property owned by a person or entity other than the tenant, the owner must verify that the owner has read the application and consents to its review and possible approval by the Village. If the application is submitted by the owner only, tenants need not sign the application.*

The undersigned hereby acknowledges that she or he has read the application, understands that the application seeks approval of a preliminary development plan for the property, and consents to its submission to the City for review and possible approval.

|   |                           |
|---|---------------------------|
|  | January 12, 2021          |
| Signature of Owner  | Date                      |
| Daniel Kwiatkowski (As Agent for Owner)   | Senior Operations Manager |
| Print Name  | Title                     |

|                     |       |
|---------------------|-------|
| Signature of Tenant | Date  |
| Print Name          | Title |

*If more than one tenant is applying, please attach all tenants' signatures on a separate sheet.*

**\* \* \* \* \* FOR OFFICE USE ONLY \* \* \* \* \***

Date of Board of Aldermen Decision: \_\_\_\_\_  Approved  Disapproved

Amount Paid: \$ \_\_\_\_\_ Cash/Check #: \_\_\_\_\_ Date Rec'd: \_\_\_\_\_

# SITE DEVELOPMENT PLAN

FOR  
**ALDI**

BRANDON A. HARP, P.E. E-28650  
PROFESSIONAL ENGINEER  
CEDC LICENSE NO.: 2003004674

## LEGEND

|                         |  |
|-------------------------|--|
| EXISTING CONTOURS       |  |
| PROPOSED CONTOURS       |  |
| EXISTING STORM SEWER    |  |
| PROPOSED STORM SEWER    |  |
| EXISTING SANITARY SEWER |  |
| PROPOSED SANITARY SEWER |  |
| RIGHT-OF-WAY            |  |
| EASEMENT                |  |
| CENTERLINE              |  |
| EXISTING TREE           |  |
| EXISTING SPOT ELEVATION |  |
| PROPOSED SPOT ELEVATION |  |
| SWALE                   |  |
| BACK OF CURB            |  |
| FACE OF CURB            |  |
| WATER MAIN              |  |
| GAS MAIN                |  |
| UNDERGROUND TELEPHONE   |  |
| OVERHEAD WIRE           |  |
| UNDERGROUND ELECTRIC    |  |
| SILTATION CONTROL       |  |
| FIRE HYDRANT            |  |
| POWER POLE              |  |
| WATER VALVE             |  |
| LIGHT STANDARD          |  |

## SYMBOLS

|     |                     |
|-----|---------------------|
| WV  | WATER VALVE         |
| WMH | WATER MANHOLE       |
| TMH | TELEPHONE MANHOLE   |
|     | BRUSH & SHRUB LINE  |
|     | SIGN                |
|     | ELECTRIC YARD LIGHT |
|     | MAIL BOX            |
|     | ELECTRIC BOX        |
|     | POWER POLE          |
|     | POWER POLE & GUY    |
|     | CLEAN OUT           |
|     | GAS VALVE           |
|     | GAS METER           |
|     | GAS DRIP            |

## ABBREVIATIONS

|                 |                             |
|-----------------|-----------------------------|
| N               | NORTH                       |
| S               | SOUTH                       |
| E               | EAST                        |
| W               | WEST                        |
| CONC            | CONCRETE                    |
| ASPH            | ASPHALT                     |
| PB              | PLAT BOOK                   |
| DB              | DEED BOOK                   |
| PG              | PAGE                        |
| SF              | SQUARE FEET                 |
| AC              | ACRES                       |
| ELEV            | ELEVATION                   |
| FF              | FINISH FLOOR                |
| FL              | FLOWLINE                    |
| PVC             | POLYVINYL CHLORIDE PIPE     |
| RCP             | REINFORCED CONCRETE PIPE    |
| STM             | STORM                       |
| SAN             | SANITARY                    |
| (S)             | SAVE                        |
| (T.B.R.)        | TO BE REMOVED               |
| (T.B.R.&R.)     | TO BE REMOVED AND REPLACED  |
| (T.B.R.&RELOC.) | TO BE REMOVED AND RELOCATED |
| (TYP)           | TYPICAL                     |
| (A.T.G.)        | ADJUST TO GRADE             |



LOCATION MAP  
NOT TO SCALE

## PROPERTY DATA

|                 |                                    |
|-----------------|------------------------------------|
| CURRENT OWNER   | = Grocery & Pharmacy Portfolio Dst |
| ADDRESS         | = C/O-Shop N Save & Cell Tower, Mo |
| LOCATOR NUMBER  | = 1100 MERAMEC STATION ROAD        |
| EXISTING ZONING | = 24Q320573                        |
| AREA            | = MUNICIPAL                        |
| FIRE DISTRICT   | = 5.79 ACRES                       |
| SCHOOL DISTRICT | = WEST COUNTY EMS AND FIRE         |
|                 | = PARKWAY                          |

## SHEET INDEX

|    |                       |
|----|-----------------------|
| C1 | TITLE SHEET           |
| C2 | SITE DEVELOPMENT PLAN |

## GENERAL NOTES

- ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED. THE CONTRACTOR SHALL BE ON RECORD WITH THE MISSOURI ONE CALL SYSTEM. ALL PROPOSED UTILITIES TO BE UNDERGROUND.
- ALL ELEVATIONS ARE BASED ON MSD BENCHMARK.
- BOUNDARY AND TOPOGRAPHIC SURVEY BY MARLER SURVEYING CO.
- ALL ON-SITE MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF TWIN OAKS, ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, PUBLIC WORKS & M.S.D.
- ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING AS REQUIRED BY CITY OF TWIN OAKS.
- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE SUB-CONTRACTOR SHALL CONTACT THE GENERAL CONTRACTOR FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- GRADING CONTRACTOR SHALL INSTALL SILTATION CONTROL PRIOR TO STARTING THE GRADING. ADDITIONAL SILTATION CONTROL DEVICES SHALL BE INSTALLED AS DIRECTED BY THE CITY OF TWIN OAKS.
- ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
- GRADING CONTRACTOR SHALL KEEP EXISTING ROADWAYS CLEAN OF MUD AND DEBRIS AT ALL TIMES.
- PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
- ALL GRADING & DRAINAGE TO BE IN CONFORMANCE WITH THE CITY OF TWIN OAKS & METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARDS.
- DRIVE ENTRANCES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF TWIN OAKS.
- SIDEWALKS ALONG THE ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE EXCEEDING 1"V:20" H. SLOPES GREATER THAN 1"V:20" H MUST BE DESIGNED AS A RAMP. ALL SIDEWALKS AND ASSOCIATED ACCESSIBILITY IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY ADA STANDARDS.
- SIDEWALKS, CURB RAMPS, RAMPS AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADING, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ADAAG AND THE INFORMATION ON THE PLANS, THE ADAAG SHALL TAKE PRECEDENCE AND THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER PRIOR TO ANY CONSTRUCTION.
- A PERMIT IS REQUIRED BY THE CITY DEPARTMENT OF PUBLIC WORKS FOR ALL DOWNSPOUTS, ROOF DRAINS AND PRIVATE STORM SEWERS.
- BY GRAPHIC BY GRAPHIC PLOTTING ONLY. THIS PROPERTY DOES NOT LIE WITHIN ANY SPECIAL FLOOD ZONE AREAS ACCORDING TO THE FLOOD INSURANCE RATE MAP PANEL NUMBER 291890303 K AND COMMUNITY NUMBER 290906 (CITY OF TWIN OAKS) WHICH BEARS AN EFFECTIVE DATE OF FEBRUARY 4, 2015. THE PROPERTY LIES WITHIN UNSHADED ZONE X (AREAS DETERMINED TO BE OUTSIDE 500 YEAR FLOOD PLAIN).
- NO GRADE SHALL EXCEED 3 (HORIZONTAL) : 1 (VERTICAL), UNLESS JUSTIFIED BY A GEOTECHNICAL REPORT, WHICH HAS BEEN ACCEPTED/APPROVED BY THE CITY.
- STORMWATER SHALL BE DISCHARGED AT ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE NATURAL DISCHARGE POINTS.
- ALL LANDSCAPE AREAS TO BE FILLED WITH A MINIMUM OF 6" OF TOPSOIL.
- ALL LANDSCAPED AREAS DISTURBED BY OFF-SITE WORK SHALL BE IMMEDIATELY SEEDED OR SODED, AS DIRECTED BY ST. LOUIS COUNTY DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF WORK IN AREA AFFECTED.
- ADEQUATE TEMPORARY OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES SHALL BE PROVIDED. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEES' VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS.
- ALL SEWER CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES, 2009.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO THE CITY OF TWIN OAKS STANDARDS.
- NO STEP ALLOWED AT ACCESSIBLE ENTRANCE DOORS.
- ALL SIGN LOCATIONS AND SIZES TO BE APPROVED SEPERATELY THROUGH THE PLANNING DIVISION.

Proposed for:

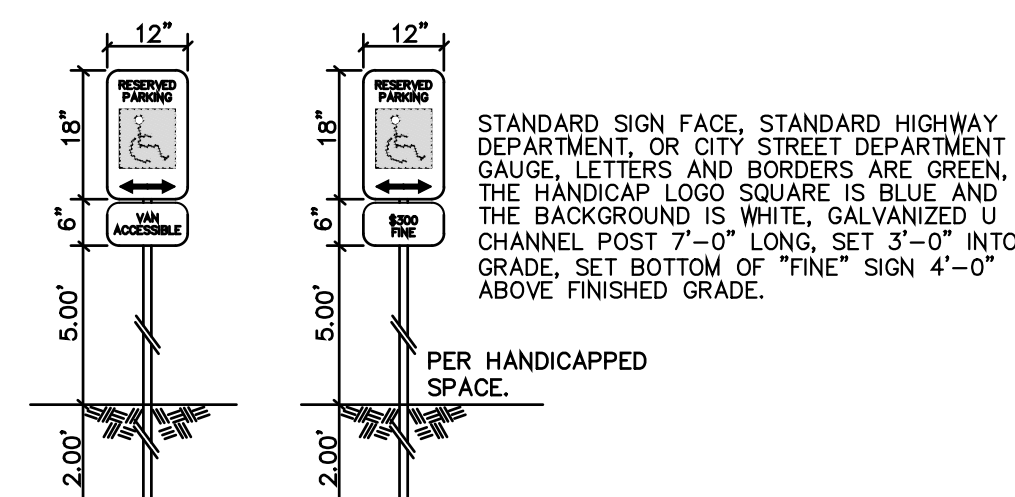


475 Pearl Street  
O'Fallon, Missouri 63366  
PH: (636) 278-4700  
Fax: (636) 278-6277

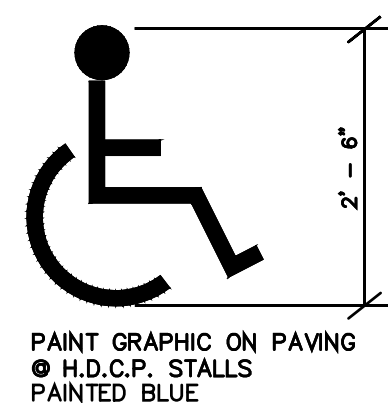
PREPARED BY:

**CEDC**  
CIVIL ENGINEERING  
DESIGN CONSULTANTS

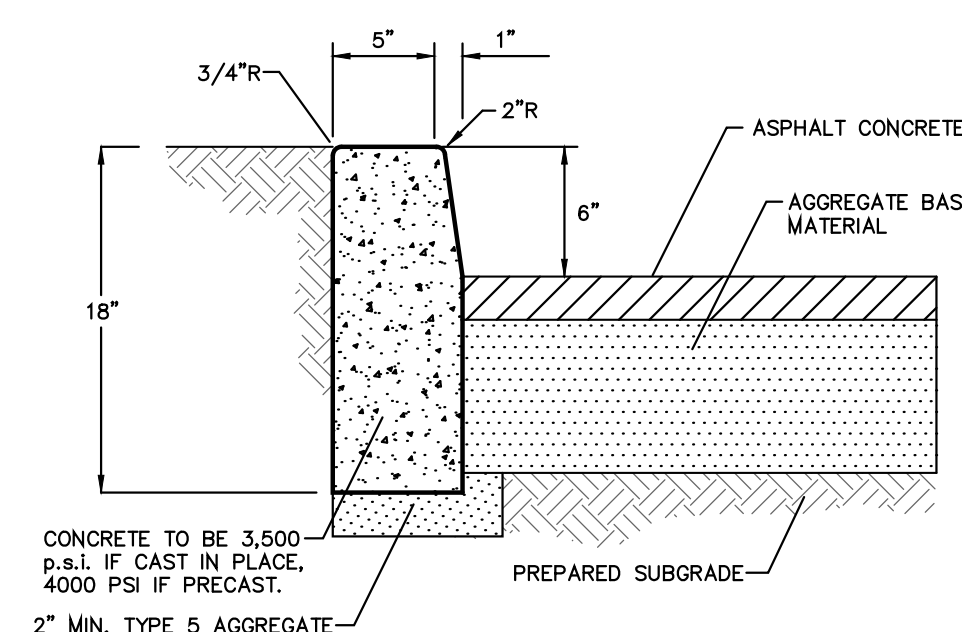
10820 Sunset Office Drive  
Suite 200  
St. Louis, Missouri 63127  
314.729.1400  
Fax: 314.729.1404  
www.cedc.net



HANDICAP PARKING SIGN



HANDICAP SIGN



CONCRETE VERTICAL CURB  
(NOT FOR USE IN ST. LOUIS COUNTY RIGHT-OF-WAY)

### NOTES:

- REFER TO SITE PLAN FOR AREAS OF PAVEMENT TYPE AND THICKNESS.
- EXPANSION MATERIAL SHALL BE INSTALLED EVERY 20' IN CURB. EXPANSION MATERIAL SHALL BE OF A TYPE EQUAL TO THE ASPHALT IMPREGNATED FIBERBOARD CONFORMING TO ASTM C 175 FOR EXTERIOR WORK. EXPANSION MATERIAL SHALL EXTEND FULL DEPTH OF CURB AND GUTTER, LESS 1/4" AT TOP OF CONCRETE.
- CURBS TO BE PROVIDED WITH SAW CUT OR TOOLED JOINT AT 10' INTERVALS.
- JOINTS AND SAW CUTS TO BE SEALED WITH LIMESTONE COLORED SEALANT.
- TYPE 5 AGGREGATE REFERS TO ST. LOUIS COUNTY SPECIFICATION

### NOTE:

The underground utilities have been plotted from available sources and their locations must be considered approximate only. The verification of the actual locations of all underground utilities, either shown or not shown on this drawing, shall be the responsibility of the contractor and shall be located prior to grading or construction of improvements.



10820 Sunset Office Drive  
Suite 200  
St. Louis, Missouri 63127  
314.729.1400  
Fax: 314.729.1404  
www.cedc.net

**CEDC**  
CIVIL ENGINEERING  
DESIGN CONSULTANTS

Site Development Plan for  
**ALDI, INC.**  
1100 MERAMEC STATION ROAD  
TWIN OAKS, MISSOURI 63021

|                 |            |
|-----------------|------------|
| Proj. #         | 2061       |
| No. Description | Date       |
| To City         | 11-30-2020 |

TITLE SHEET

DRAWING NO.  
**C1**

BRANDON A. HARP, P.E. E-28650  
 PROFESSIONAL ENGINEER  
 CEDC LICENSE NO.: 2003004674

10820 Sunset Office Drive  
 Suite 200  
 Saint Louis, Missouri 63127  
 314.729.1400  
 Fax: 314.729.1404  
 www.cedc.net

**CEDC**  
 CIVIL ENGINEERING  
 DESIGN CONSULTANTS

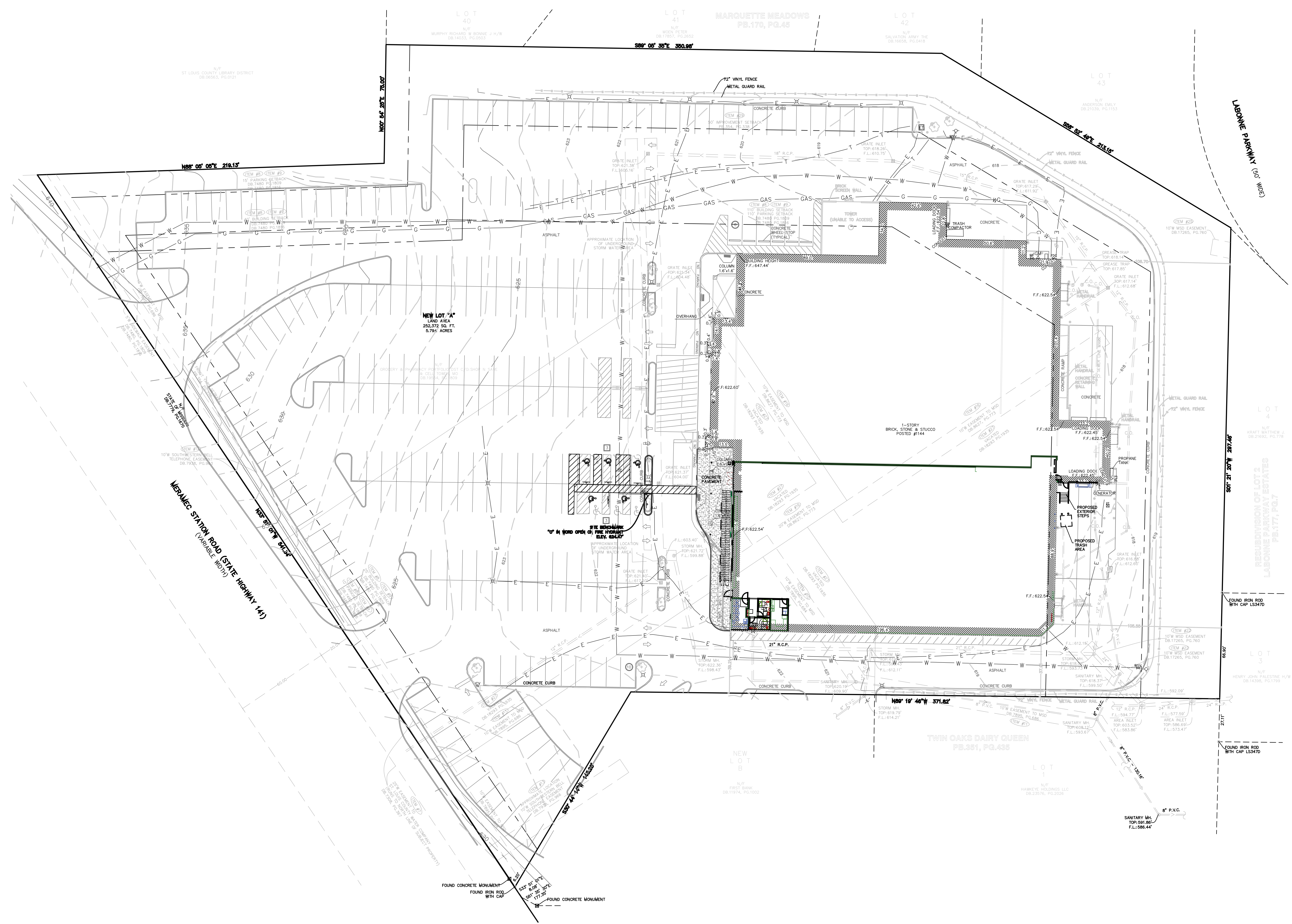
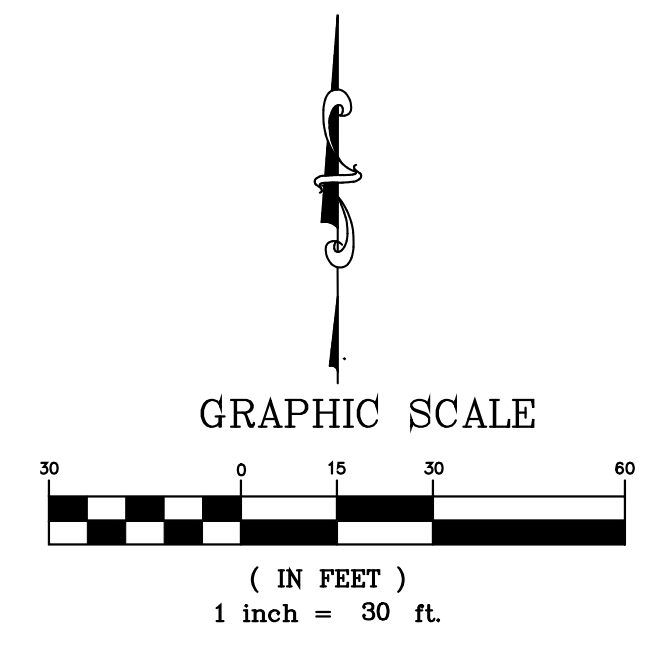
Site Development Plan for  
**ALDI, INC.**  
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 TWIN OAKS, MISSOURI 63021

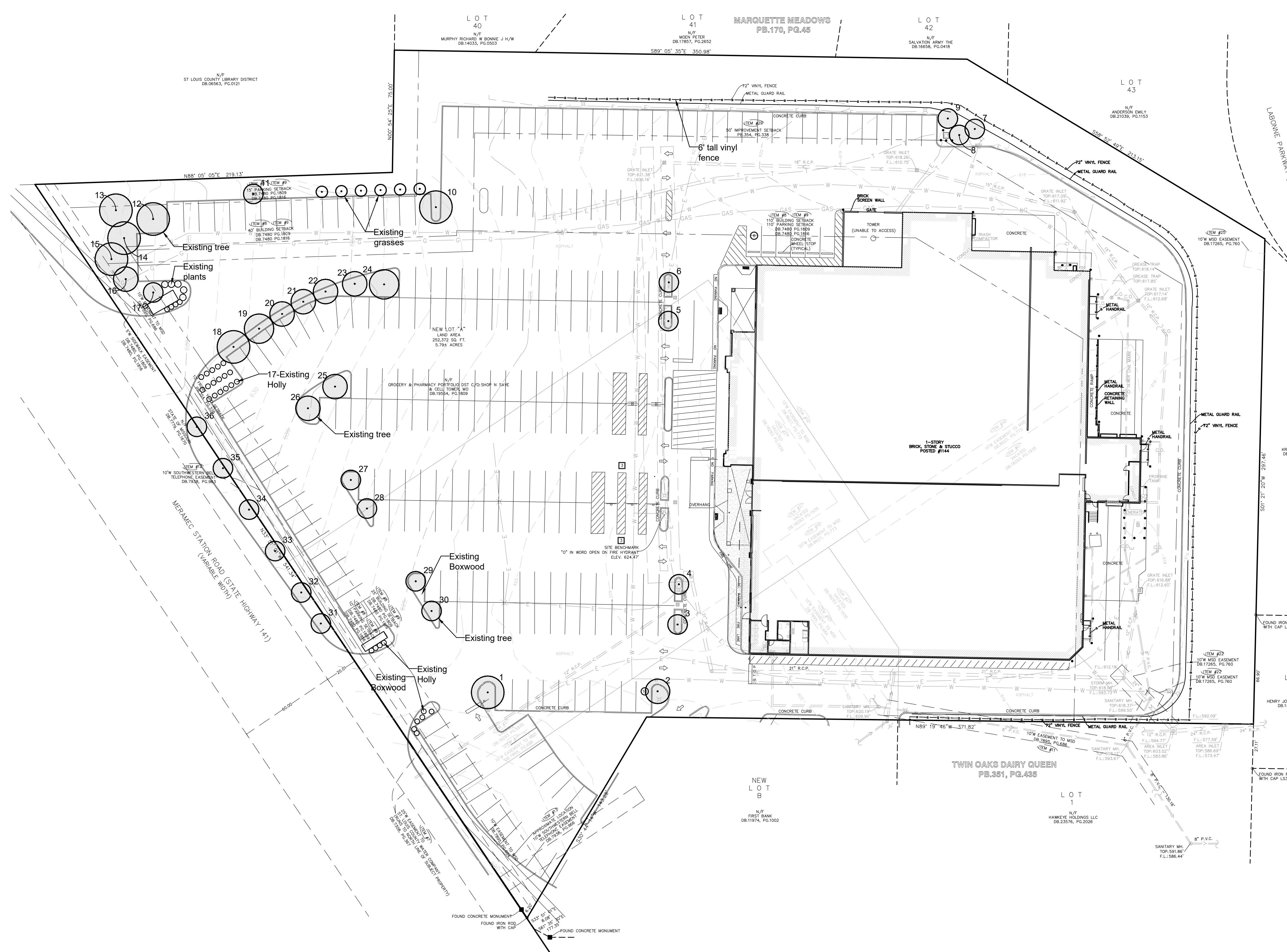
|                 |            |
|-----------------|------------|
| Proj. #         | 2061       |
| No. Description | Date       |
| To City         | 11-30-2020 |

**SITE DEVELOPMENT PLAN**

DRAWING NO.

**C2**





| Tree Inventory |             |     |              |         |
|----------------|-------------|-----|--------------|---------|
| ID             | Tree Name   | DBH | Canopy Diam. | Comment |
| 1              | Maple       | 6   | 20           |         |
| 2              | Maple       | 6   | 15           |         |
| 3              | Ash         | 4   | 12           |         |
| 4              | Ash         | 5   | 12           |         |
| 5              | Zelkova     | 6   | 12           |         |
| 6              | Spruce      | 6   | 12           |         |
| 7              | Spruce      | 8   | 12           | 24' h   |
| 8              | Spruce      | 8   | 12           | 26' h   |
| 9              | Spruce      | 8   | 12           | 22' h   |
| 10             | Maple       | 7   | 20           |         |
| 11             | Spruce      | 6   | 12           | 15' h   |
| 12             | Maple       | 5   | 20           |         |
| 13             | River Birch | 8   | 20           |         |
| 14             | Maple       | 6   | 20           |         |
| 15             | River Birch | 8   | 20           |         |
| 16             | Maple       | 6   | 15           |         |
| 17             | Maple       | 6   | 12           |         |
| 18             | Maple       | 8   | 20           |         |
| 19             | Maple       | 5   | 18           |         |
| 20             | Maple       | 5   | 15           |         |
| 21             | Maple       | 5   | 15           |         |
| 22             | Maple       | 5   | 15           |         |
| 23             | Maple       | 6   | 15           |         |
| 24             | Maple       | 6   | 18           |         |
| 25             | Ash         | 6   | 15           |         |
| 26             | Ash         | 6   | 15           |         |
| 27             | Ash         | 5   | 12           |         |
| 28             | Ash         | 5   | 12           |         |
| 29             | Ash         | 6   | 12           |         |
| 30             | Ash         | 5   | 12           | Topped  |
| 31             | Crabapple   | 4   | 12           |         |
| 32             | Crabapple   | 4   | 12           |         |
| 33             | Crabapple   | 5   | 12           |         |
| 34             | Crabapple   | 4   | 12           |         |
| 35             | Crabapple   | 5   | 12           |         |
| 36             | Crabapple   | 4   | 12           |         |

Jerald Saunders - Landscape Architect  
MO License # LA-007

Consultants:

**ALDI**  
 Twin Oaks, Missouri

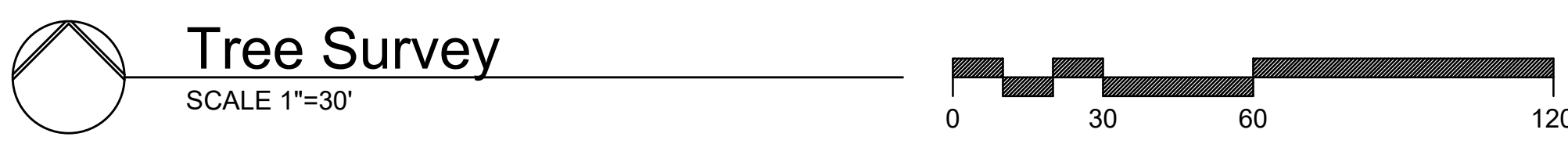
Revisions:

| Date | Description | No. |
|------|-------------|-----|
|      |             |     |
|      |             |     |
|      |             |     |
|      |             |     |
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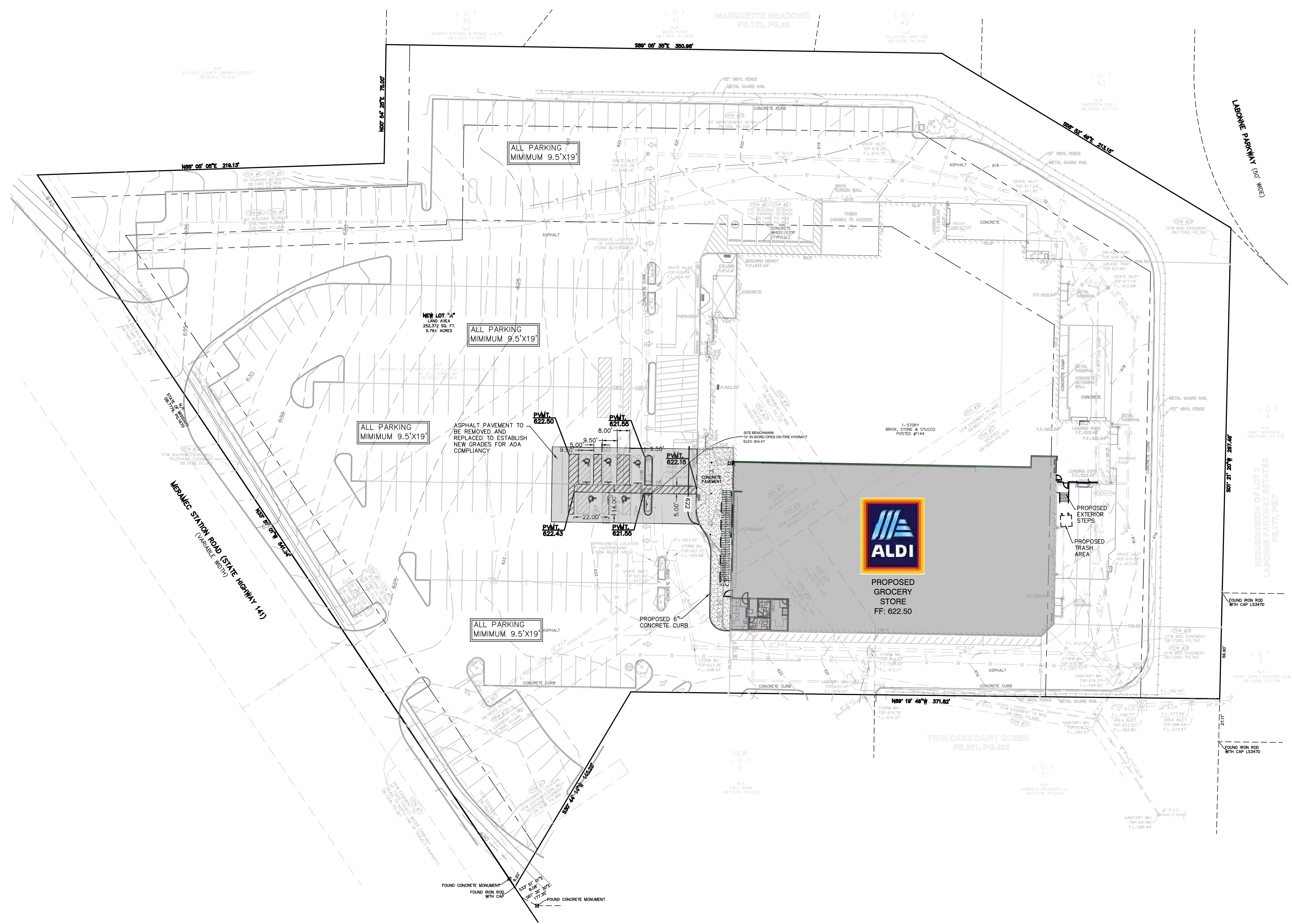
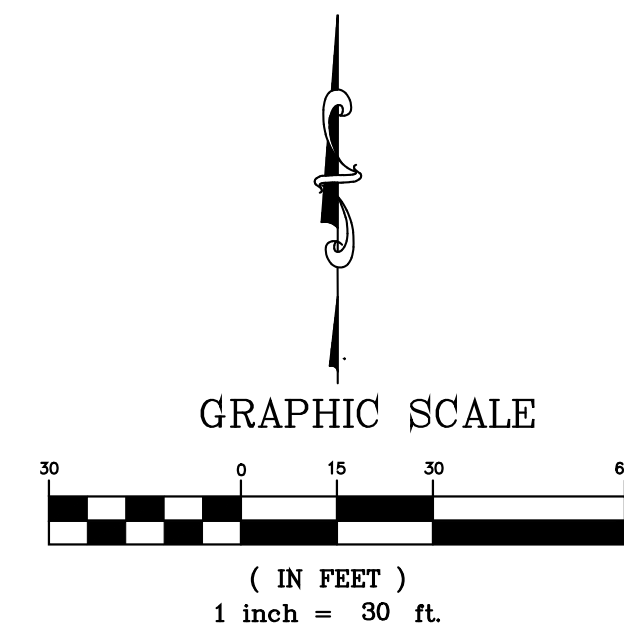
Drawn: KP  
Checked: RS

**LOOMIS ASSOCIATES**  
 landscape architects + planners  
 750 spirit 40 park drive, chesterfield, missouri 63005  
 t. 636-519-6668 www.loomis-associates.com

Loomis Associates Inc.  
 Missouri State Certificate of Authority # LAC #000191



|              |             |
|--------------|-------------|
| Sheet Title: | Tree Survey |
| Sheet No.:   | TS          |
| Date:        | 11/25/20    |
| Job #:       | 584.034     |





NOT FOR CONSTRUCTION

| EXTERIOR FINISH SCHEDULE |   |   |  |
|--------------------------|---|---|--|
| KEY                      | MATERIAL / MFG.                                   | COLOR / NO.   | NOTES  |
| A1                       | PREFINISHED METAL COPING                          | A1 - SLATE GRAY<br>A1a - SILVER METALLIC  | SEE SPECIFICATIONS APPENDIX 'B'  |
| A2                       | SPEC-BRICK CONCRETE MASONRY VENEER                | [A2] 8Wx4x16L CHESAPEAKE BLEND w/ HOLCIM "SMITH GRAY" MORTAR MORTAR ALT: SOLOMON "85X DARK CHOCOLATE" | CONTACT THE CONCRETE PRODUCTS GROUP AT 800-789-0872 FOR ORDERING SEE SPEC FOR ADDITIONAL INFO  |
| A3                       | CONCRETE MASONRY 4TH ACCENT BAND                  | SMOOTH FACE 4" BAND TO MATCH COLOR A-22   |  |
| A4                       | STOREFRONT  | ANODIZED ALUM.  | RE: DWG. A602  |
| A5                       | MEMBRANE ROOFING                                  | GRAY  | AT BACK OF ALDI LOGO SIGN TOWER, FOOD MARKET SIGN TOWER AND CANOPY ROOF - SEE SPECIFICATIONS APPENDIX 'B'  |
| A6                       | METAL SOFFIT PANELS                               | SOLID PANELS - SEE SPEC; SILVER METALLIC  | RE: DWG. A301-A304   |
| A7                       | EXTERIOR PAINT                                    | PT-19 / CL-5  | RE: DWG. A603  |
| A9                       | ALUMINUM COMPOSITE PANEL                          | A9 - BRIGHT SILVER  | PROVIDE PANEL JOINTS AS SHOWN - PROVIDE ONE PIECE TIGHT FIT EXTRUDED MOLDING INSTALLATION SYSTEM WITH CENTER REVEAL TRIM BETWEEN PANELS AND J TRIM AT PANEL EDGES. |
| A9a                      | FIBER CEMENT WALL PANELS                          | VINTAGEWOOD "CEDAR" PANELS  | PROVIDE PANEL JOINTS AS SHOWN  |
| A10                      | OLDCASTLE/ECHOLON MASONRY CONCRETE MASONRY VENEER | "DARK BUFF" (JARED TAN) "DANDELION" MORTAR MORTAR ALT: SOLOMON 10X LIGHT BUFF                         | CONTACT ECHOLON MASONRY AT 800-899-8455 FOR ORDERING SEE SPEC FOR ADDITIONAL INFO  |
| A11                      | BLRD-2  | PT-19 / CL-4  | RE: DWG A603   |
| A12                      | BLRD-4  | CG-8106 BK CHROMA HSE PE  | RE: DWG A603   |
| A13                      | GUARD RAIL TYPE "A"                               | GALVANIZED  | RE: DWG A3/A503  |
| A14                      | GUARD RAIL TYPE "B"                               | GALVANIZED  | RE: DWG A3/A503  |
| A15                      | BLRD-3 & CART RAIL                                | GALVANIZED  | RE: DWG A603   |

|     |  |  |  |
|-----|--|--|--|
| A16 | DOCK LEVELER / SEAL AND BUMPERS                | LEVELER - FACTORY FINISH / SEAL AND BUMPERS - FACTORY FINISH - BLACK   | VIF EXISTING OPENING AND LEVELER   |
| A17 | CONTROL JOINT                                  |  | MAX 30' OC RE: DWG. A504   |
| A19 | CONDUIT  | EXTEND CONDUIT 1" BEYOND FACE OF F.C.P. & PAINT TO MATCH PANEL. FILL OPEN END WITH SEALANT AND SEAL AROUND PENETRATION | CONTRACTOR TO COORDINATE FINAL LOCATION PRIOR TO INSTALLATION                              |
| A20 | ALDI TOWER SIGN                                | BY SIGN VENDOR   | 7'-11 1/8" w. x 9'-5 1/2" h. SEE DETAIL D1/A504; VERIFY SIGN SIZE PRIOR TO FRAMING OPENING |
| A21 | CRTB   | NATURAL  | RE: DWG A603 - SEE STRUCTURAL DWGS   |
| A22 | CAST STONE SILL                                | SEE SPEC   | WATER TABLE TRIM   |
| A23 | PREFABRICATED SUN SHADE                        | SILVER POWDER COAT   | MANUFACTURED BY FenWall; RE: DWGS A306, A505; ALIGN OUTRIGGERS w/ WINDOW MULLIONS BELOW    |
| A24 | KNOX BOX                                       | FACTORY FINISH   | CONFIRM TYPE AND LOCATION WITH LOCAL FIRE MARSHAL  |
| A25 | AUTO DOOR & TRANSOM                            | ANODIZED ALUMINUM  | RE: DWG A601 & A602  |
| E1  | EXIT DISCHARGE LIGHT                           | FACTORY FINISH   | MOUNT @ 8'-0" A.F.F.   |
| E2  | WALL SCONCE                                    | FACTORY FINISH   | MOUNT @ 7'-6" A.F.F.   |
| E3  | CYLINDER WALL SCONCE                           | FACTORY FINISH   | MOUNT HEIGHT SEE DIMENSION   |
| E5  | EXTERIOR WALL PACK                             | FACTORY FINISH   | MOUNT @ 12'-0" A.F.F.  |
| E6  | EXTERIOR DUPLEX RECEPTACLE                     | FACTORY FINISH   | MOUNT @ 1'-6" A.F.F. IN 4" SQUARE J-BOX  |
| E7  | JUNCTION BOX WITH COVER FOR FUTURE CARD READER |  | MOUNT CENTERED @ 42" A.F.F. - RE. SEE ELEC DWGS  |
| P1  | HOSE BIB                                       | FACTORY FINISH   | SEE PLUMBING DWGS  |
| P2  | RPZ DISCHARGE                                  | FACTORY FINISH   | SEE PLUMBING DWGS  |
| XX  | STOREFRONT KEY                                 | ANODIZED ALUMINUM  | SHADED WINDOWS ARE SPANDREL - RE: DWG A602   |

| SIGNAGE       |          |                  |        |
|---------------|----------|------------------|--------|
| DESCRIPTION   | QUANTITY | SQ. FT. PER SIGN | TOTALS |
| TOWER SIGN    | 1        | 120.3            | 120.3  |
| TOTAL SIGNAGE |          |                  | 120.3  |

SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT SUBMITTAL.

| Issued: |              | Date:    |
|---------|--------------|----------|
| A       | Concept Plan | 02/24/20 |
| B       |              |          |
| C       |              |          |
| D       |              |          |
| E       |              |          |

| Revisions: |                | Date:    |
|------------|----------------|----------|
| 1          | Owner Comments | 02/27/20 |
| 2          | Owner Comments | 03/05/20 |
| 3          | Owner Comments | 07/27/20 |
| 4          | Owner Comments | 08/19/20 |
| 5          | Owner Comments | 08/27/20 |
| 6          | Owner Comments | 09/03/20 |
| 7          | Owner Comments | 12/23/20 |
| 8          | Owner Comments | 12/29/20 |
| 9          | P&Z Comments   | 01/06/21 |

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Architecture

DRAWN BY:

REVIEWED BY:

Seal

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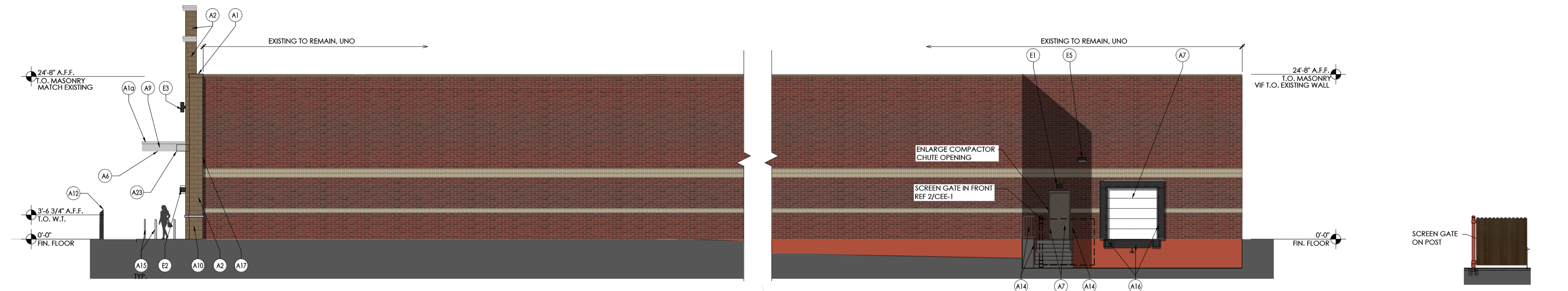
**ALDI Inc.**

475 Pearl Street  
O'Fallon, MO 63366  
(636) 278-4700  
(636) 278-4277 fax

ALDI Inc. Store #: 69  
Twin Oaks, MO  
1144 Meramec Station Rd  
Twin Oaks, MO 63021  
West County  
Project Name & Location:

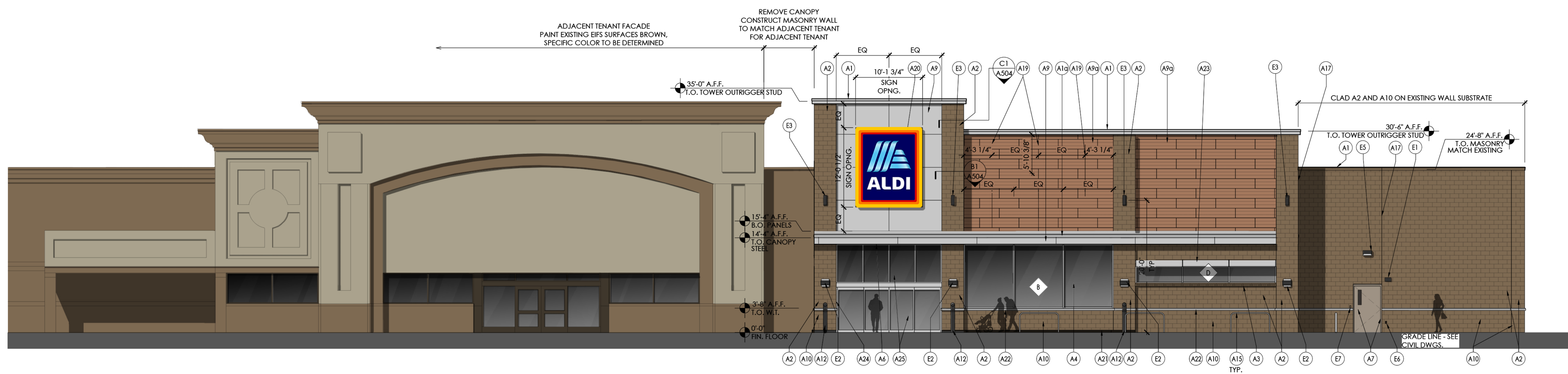
Concept  
Exterior Elevations  
Drawing Name:

|        |           |             |         |
|--------|-----------|-------------|---------|
| Date:  | 02/24/20  | Project No. | 2013310 |
| X.IN   | 107 x 190 |             |         |
| Type:  |           |             |         |
|        |           |             |         |
| Scale: | As Noted  | Drawing No. | CEE-1   |



2 Concept Side Elevation  
SCALE: 1/8" = 1'-0"

3 Screen Gate  
SCALE: 1/8" = 1'-0"



1 Concept Front Elevation  
SCALE: 1/8" = 1'-0"

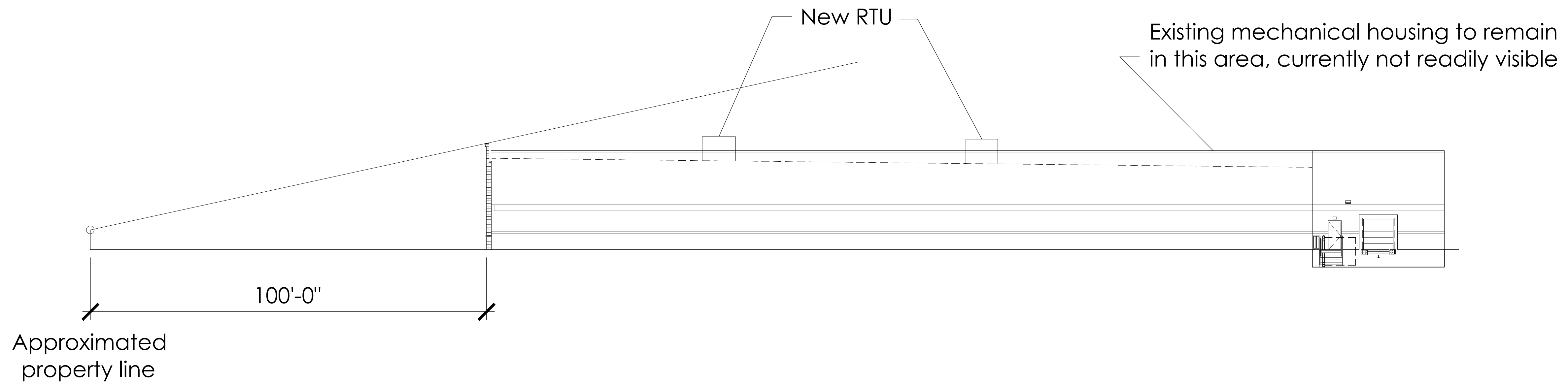
PLOTTED: 1/6/2021 8:13 AM

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| Issued: |              | Date:    |
|---------|--------------|----------|
| A       | Concept Plan | 02/24/20 |
| B       |              |          |
| C       |              |          |
| D       |              |          |
| E       |              |          |

| Revisions: |              | Date:    |
|------------|--------------|----------|
| 1          | P&Z Comments | 12/23/20 |
| 2          |              |          |
| 3          |              |          |
| 4          |              |          |
| 5          |              |          |
| 6          |              |          |
| 7          |              |          |
| 8          |              |          |
| 9          |              |          |



2 Sightline at Side  
SCALE: 1/16" = 1'-0"



1 Sightline at Front  
SCALE: 1/16" = 1'-0"

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DRAWN BY:

REVIEWED BY:

Seal

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Twin Oaks, MO  
1144 Meramec Station Rd  
Twin Oaks, MO 63021  
West County  
Project Name & Location:

Concept Sightline

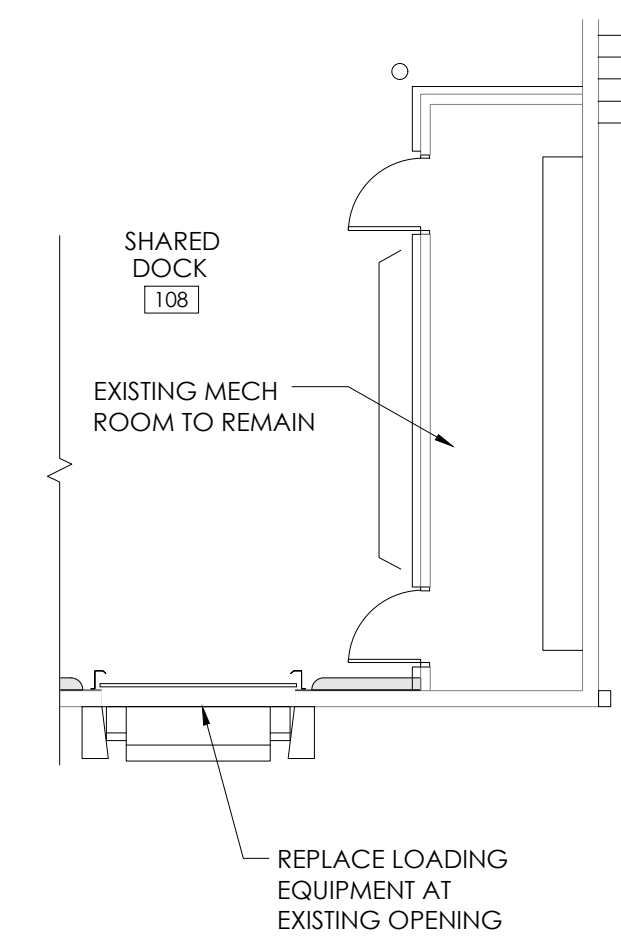
|                        |             |
|------------------------|-------------|
| Drawing Name:          | Project No. |
| Date: 02/24/20         | 2013310     |
| Type: X.1 IN 107 x 190 |             |
|                        | Sightline   |
| Scale: As Noted        | Drawing No. |

NOT FOR CONSTRUCTION

| AREA SUMMARY                                 |                   |                |                   |
|--|-------------------|----------------|-------------------|
| OCCUPANCY USE                                | ROOM NAME         | SQUARE FOOTAGE | V7.0 ER PROTOTYPE |
| MERCANTILE                                   | SALES / VESTIBULE | 12,945         | 12,541            |
|  | OFFICE            | 202            | 190               |
|  | UNISEX 1          | 80             | 76                |
|  | UNISEX 2          | 93             | 84                |
|  | HALL              | 69             | 137               |
| SUBTOTAL (MERCANTILE)                        |                   | 13,389         | 13,028            |
| STORAGE / STOCK                              | BACK ROOM         | 5,306          | 3,807             |
|  | SHARED DOCK       | 770            |                   |
|  | COOLER            | 1,182          | 1,313             |
|  | FREEZER           | 648            | 648               |
|  | eCOMMERCE         | 191            | 175               |
|  | BREAK ROOM        | 452            | 305               |
| SUBTOTAL (STORAGE / STOCK)                   |                   | 7,906          | 6,248             |
| SUBTOTAL (OCCUPANCIES)                       |                   | 21,295         | 19,276            |
| EXTERIOR / INTERIOR WALLS / UNOCCUPIED SPACE |                   | 1,513          | 1,278             |
| BUILDING SQUARE FOOTAGE                      |                   | 22,808         | 21,720            |

| OPERATIONS DATA                           |                       |                   |
|---|-----------------------|-------------------|
| ITEM                                      | VX.IN                 | V7.0 ER PROTOTYPE |
| LINEAR FOOTAGE OF BASE (PRODUCE INCLUDED) | 824'-7"               | 826'-7"           |
| ASSUMED PALLET STORAGE                    | 74                    | 74                |
| BUILDING DIMENSIONS                       | 107'-0" x 204'-9 1/2" | 119'-4" x 153'-4" |
| SALES FLOOR DIMENSIONS                    | 75'-9 1/2" x 156'-0"  | 74'-6" x 151'-1"  |
| LENGTH OF MULTI-DECK                      | 120'                  | 120'              |
| COOLER MILK DOORS                         | 4                     | 4                 |
| COOLER GENERAL DOORS                      | 12                    | 12                |
| FREEZER GENERAL DOORS                     | 16                    | 16                |
| SPOT MERCHANDISERS                        | 10                    | 10                |
| CART STORAGE                              | (102) MODEL 563W      | (144) MODEL 563W  |

- NOTES:
- THIS DRAWING IS FOR GENERAL FIXTURING LAYOUT AND REFERENCE TO EQUIPMENT ONLY. ALL INFORMATION IS FOR ALDI OPERATIONAL USE ONLY AND SHALL NOT BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.
  - ALL DIMENSIONS TO WALLS ARE TO FACE OF STUD.
  - GONDOLA LOCATIONS ARE MEASURED FROM THE FACE OF THE STAINLESS STEEL PRICE TAG MOLDING (SSPTM).
  - CONCEPT IS BASED ON PROTOTYPICAL FOOTPRINT.



| Issued:        | Date:    |
|----------------|----------|
| A Concept Plan | 02/24/20 |
| B              |          |
| C              |          |
| D              |          |
| E              |          |

| Revisions:       | Date:             |
|------------------|-------------------|
| 1 Owner Comments | 02/27/20 09/15/20 |
| 2 Owner Comments | 03/02/20 10/07/20 |
| 3 Owner Comments | 03/05/20 10/08/20 |
| 4 Owner Comments | 07/27/20 10/12/20 |
| 5 Owner Comments | 08/19/20 10/14/20 |
| 6 Owner Comments | 08/25/20 12/23/20 |
| 7 Owner Comments | 08/31/20          |
| 8 Owner Comments | 09/02/20          |
| 9 Post Scope/OC  | 09/11/20          |

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DRAWN BY:  
REVIEWED BY:

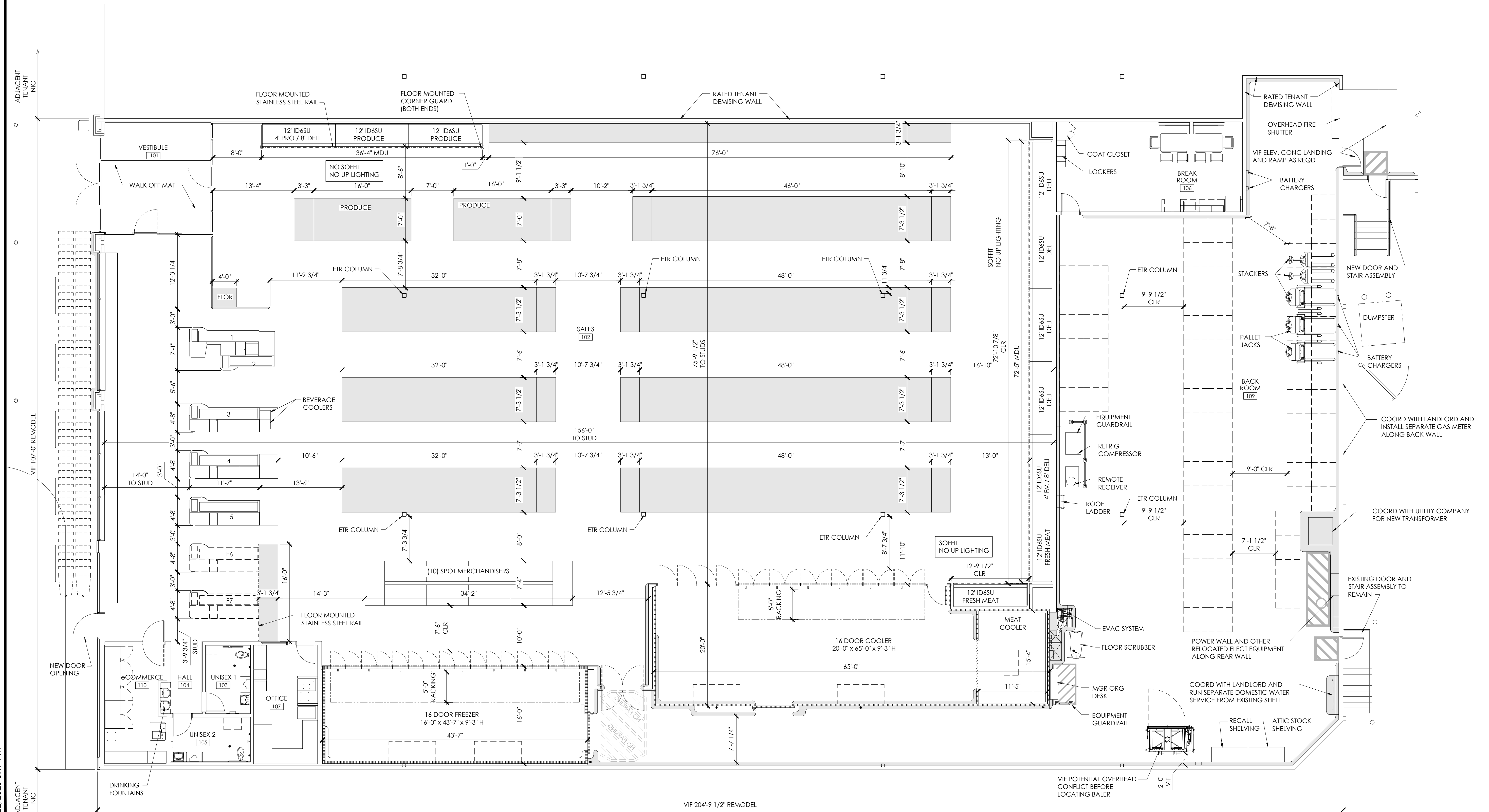
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(636) 278-4700  
(636) 278-8277 fax

ALDI Inc. Store #: XX  
Twin Oaks, MO  
1144 Meramec Station Rd  
Twin Oaks, MO 63021  
West County  
Project Name & Location:

| Concept Floor Plan |             |
|--------------------|-------------|
| Drawing Name:      | Project No. |
| Date: 02/24/20     | 2013310     |
| X.IN 107 x 190     |             |
| Type:              | CFP-1       |
| Scale: As Noted    | Drawing No. |



1 Concept Floor Plan  
SCALE: 1/8" = 1'-0"

PLOTTED: 12/22/2020 5:17 PM

December 21, 2020

City of Twin Oaks  
1381 Big Bend Road  
Twin Oaks, MO 63021  
Attn: Frank Johnson, City Clerk

RE: 1<sup>st</sup> Code Review for STL SPIRITS Gymnastics Facility  
1393 Big Bend Road - BFA 3497-0

Mr. Johnson,

I obtained from you on December 2, 2020, the Aldi Plan Sheets (4 pages) for the 1100 Meramec Station Road proposed development in commercial district "C". The information was reviewed to evaluate compliance with the Code of Ordinance for Twin Oaks.

The following comments list the conflicts with the proposed plans when evaluated for compliance:

1. Exterior Finish Schedule A1: Ensure and confirm the "Prefinished metal coping" is copper, steel, or aluminum per Appendix A A.5.
2. Exterior Finish Schedule A2: Please reevaluate the design to utilize a material chosen from the Allowable material list in Appendix A A.5; "Spec-Brick Concrete Masonry Veneer" is not allowed, because concrete block or masonry unit is not allowed per Appendix A A.6.
3. Exterior Finish Schedule A3: Please reevaluate the design to utilize a material chosen from the Allowable material list in Appendix A A.5; "Concrete Masonry 4" H Accent Band" is not allowed, because concrete block or masonry unit is not allowed per Appendix A A.6.
4. Exterior Finish Schedule A4, A9: Metal panels are not on the approved material list per Appendix A A.5.
5. Exterior Finish Schedule A10: Please reevaluate the design to utilize a material chosen from the Allowable material list in Appendix A A.5; "Oldcastle/Echelon Masonry Concrete Masonry Veneer" is not allowed, because concrete block or masonry unit is not allowed per Appendix A A.6.
6. The current design does not provide screening to the proposed trash container. Please reevaluate the design and screen trash container with evergreen hedges, walls, screens planted with evergreen vines per Appendix A F.4.

The following comments list items that will need city approval:

1. Board of Alderman shall determine if building materials and facades are uniform and compatible in type, color, and texture with the existing City environment per Section 400.330 A2.
2. Board of Alderman shall determine if the building structure is designed to ensure a strong physical and spatial relationship with Meramec Station Road frontages are created per Appendix A A.2.
3. Board of Alderman shall determine if colors ensure a harmonious range of colors as provided per Appendix A A.6.
4. Board of Alderman shall determine if the corner of the building has significant articulations through fenestration, building materials, and detailing per Appendix A B.4.a.

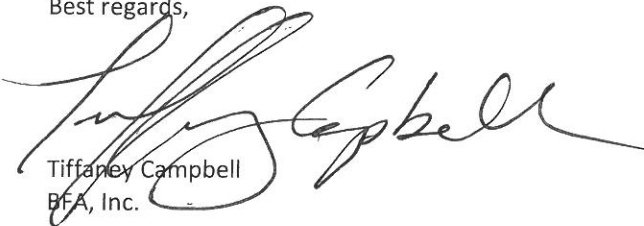
The following comments list additional items that will be needed for review:

1. Please dimension the proposed parking spaces; current plans do not dimension the proposed parking spaces. Please ensure the proposed parking spaces are a minimum of 180 square feet, per Section 400.080.
2. Please provide a plan that displays the proposed rooftop equipment. Ensure proposed rooftop equipment is adequately screened per Section 400.330 A.6.
3. Exterior Finish Schedule A5, A11, A13, A14, A23, A24: With provided information; location was not determined.

4. Exterior Finish Schedule A6: With provided information; location was not determined. Please note: metal panels are not on the approved materials list per Appendix A A.5.
5. Exterior Finish Schedule A20: Please provide additional information to ensure the sign is per Section 410.050.
6. Exterior Finish Schedule E5: Please provide a photometric plan to ensure the proposed light follows light cast regulations per Section 400.330.
7. The proposed ADA parking area does not display grading. Grading is necessary to determine whether the space is compliant with ADA requirements. Please provide a grading plan to ensure ADA parking is compliant with the ADA requirements per Appendix A C.2.

St. Louis County and MSD have jurisdiction; therefore, County and MSD permits and approval will need to be obtained. Please let me know if you need further explanation on any of these items or if you have additional items that you would like to have reviewed in more detail.

Best regards,



Tiffany Campbell  
BFA, Inc.



## SGA<sup>®</sup> Design Group

December 29, 2020

Mr. Frank Johnson  
City of Twin Oaks  
1381 Big Bend Road  
Twin Oaks, MO 63021

Re: ALDI 69 at 1144 Meramec Station Road, Twin Oaks, MO 63021  
SGA#2013310

Mr. Johnson,

Thank you for having forwarded the review comments from BFA. Listed below are the responses to comments received via e-mail on December 21, 2020.

**Paragraph 1 comment 1:** Exterior Finish Schedule A1: Ensure and confirm the “Prefinished metal coping” is copper, steel, or aluminum per Appendix A A.5.

**Response:** The coping is an owner furnished item, and based on what we have observed in the similar projects in the past, the selections include steel and aluminum.

**Paragraph 1 comment 2:** Exterior Finish Schedule A2: Please reevaluate the design to utilize a material chosen from the Allowable material list in Appendix A A.5; “Spec-Brick Concrete Masonry Veneer” is not allowed, because concrete block or masonry unit is not allowed per Appendix A A.6.

**Response:** The masonry veneer A2 is composed of concrete, however has aesthetics and texture similar to bricks.

**Paragraph 1 comment 3:** Exterior Finish Schedule A3: Please reevaluate the design to utilize a material chosen from the Allowable material list in Appendix A A.5; “Concrete Masonry 4” H Accent Band” is not allowed, because concrete block or masonry unit is not allowed per Appendix A A.6.

**Response:** The masonry A3 is composed of concrete, however has aesthetics and texture similar to bricks.

**Paragraph 1 comment 4:** Exterior Finish Schedule A4, A9: Metal panels are not on the approved material list per Appendix A A.5.

**Response:** Metal panel A9 is a decorative application for the signage, and not metal siding.

**Paragraph 1 comment 5:** Exterior Finish Schedule A10: Please reevaluate the design to utilize a material chosen from the Allowable material list in Appendix A A.5; “Oldcastle/Echelon Masonry Concrete Masonry Veneer” is not allowed, because concrete block or masonry unit is not allowed per Appendix A A.6.

**Response:** A10 is a type of split-face CMU. While it is composed of concrete, it has aesthetics and texture similar to bricks. Please see **enclosed CEE-1** with keynotes A2 and A10 simplified on the Front Elevation.

**Paragraph 1 comment 6:** The current design does not provide screening to the proposed trash container. Please reevaluate the design and screen trash container with evergreen hedges, walls, screens planted with evergreen vines per Appendix A F.4.

**Response:** The view from La Bonne Pkwy on the east is almost completely screened due to the existing retaining wall with fence, as well as a significant drop in grade elevations. The view from the neighboring business on the south is on the same boat, but a screen door is added. Please see **enclosed CFP-1 and CEE-1**.

**Paragraph 2 comment 1:** Board of Alderman shall determine if building materials and facades are uniform and compatible in type, color, and texture with the existing City environment per Section 400.330 A2.

**Paragraph 2 comment 2:** Board of Alderman shall determine if building structure is designed to ensure a strong physical and spatial relationship with Meramec Station Road frontages are created per Appendix A A.2.

**Paragraph 2 comment 3:** Board of Alderman shall determine if colors ensure a harmonious range of colors as provided per Appendix A A.6.

**Paragraph 2 comment 4:** Board of Alderman shall determine if the corner of the building has significant articulations through fenestration, building materials, and detailing per Appendix A B.4.a.

**Response to Paragraph 2 comments 1-4:** We respectfully request the Board of Alderman to take into consideration the intent of the design, and approve what we proposed.

**Paragraph 3 comment 1:** Please dimension the proposed parking spaces; current plans do not dimension the proposed parking spaces. Please ensure the proposed parking spaces are a minimum of 180 square feet, per Section 400.080.

**Response:** The Civil engineer CEDC will respond.

**Paragraph 3 comment 2:** Please provide a plan that displays the proposed rooftop equipment. Ensure proposed rooftop equipment is adequately screened per Section 400.330.A.6.

**Response:** Please see **enclosed sightline study** which shows the rooftop equipment should not be readily visible from the property lines.

**Paragraph 3 comment 3:** Exterior Finish Schedule A5, A11, A13, A14, A23, A24: With provided information, location was not determined.

**Response:** Conceptual drawings do not have all the notes in place, so please disregard them.

**Paragraph 3 comment 4:** Exterior Finish Schedule A6: With provided information, location was not determined. Please note: metal panels are not on the approved materials list per Appendix A A.5.

**Response:** A6 is a soffit of the canopy, which is not readily visible unless one is under it. This is not a metal siding. Please see **enclosed CEE-1** with the keynote A6 added.

**Paragraph 3 comment 5:** Exterior Finish Schedule A20: Please provide additional information to ensure the sign is per Section 410.050.

**Response:** Proposed wall sign of 120.3 sf is less than allowed maximum of 150 sf. It is also less than 5% of the total wall area of 3,231 sf. Mounting height as shown complies. With regards to colors the owner would like to request a variance or the likes as there are at least four distinct colors, and when illuminated the white letters are on blue.

**Paragraph 3 comment 6:** Exterior Finish Schedule E5: Please provide a photometric plan to ensure the proposed light follows light cast regulations per Section 400.330.

**Response:** This is in the works with the landlord and engineers.

**Paragraph 3 comment 7:** The proposed ADA parking area does not display grading. Grading is necessary to determine whether the space is compliant with ADA requirements. Please provide a grading plan to ensure ADA parking is compliant with the ADA requirements per Appendix A C.2.

**Response:** The Civil engineer CEDC will respond.

We trust that this information satisfies the comments. Thank you for your time and assistance. If you have any further comments, please do not hesitate to contact us.



Sincerely,

A handwritten signature in blue ink that reads "Kayo Takumyo". The signature is fluid and cursive, with a large loop at the end of the last name.

Kayo Takumyo, AIA, CSI, CDT, LEED AP BD+C

SGA Design Group, P. C.

January 15, 2021

City of Twin Oaks  
1381 Big Bend Road  
Twin Oaks, MO 63021  
Attn: Frank Johnson, City Clerk

RE: 2<sup>st</sup> Code Review for ALDI Retail Facility  
1100 Meramec Station Rd - BFA 3497-0

Mr. Johnson,

I obtained from you, on December 29, 2020, the 2020-1229 Response (4 pages), 2020-1229 Twin Oaks MO – CEE-1 (1 page), 2020-1223 Twin Oaks MO – CFP-1 (1 page), and 2020-1223 Twin Oaks MO – Sightline (1 page). I obtained from you, on January 5, 2021, the 2021-01-04 ALDI Twin Oaks (2 pages) and ALDI – 210105OKMOLJS (1 page). The information received pertains the proposed development at 1100 Meramec Station Road in commercial district “C”. The information was reviewed to evaluate compliance with the Code of Ordinance for Twin Oaks; comments on the updated design are indicated by “2<sup>nd</sup> Review”.

The following comments list the conflicts with the proposed plans when evaluated for compliance:

1. Exterior Finish Schedule A1: Ensure and confirm the “Prefinished metal coping” is copper, steel, or aluminum per Appendix A A.5.  
**2<sup>nd</sup> Review: Please note on applicable plan sheet(s) “Prefinished metal coping” shall be copper, steel, or aluminum.**
2. Exterior Finish Schedule A2: Please reevaluate the design to utilize a material chosen from the Allowable material list in Appendix A A.5; “Spec-Brick Concrete Masonry Veneer” is not allowed, because concrete block or masonry unit is not allowed per Appendix A A.6.  
**2<sup>nd</sup> Review: This comment remains. Exterior Finish Schedule A2 (masonry veneer) needs city approval.**
3. Exterior Finish Schedule A3: Please reevaluate the design to utilize a material chosen from the Allowable material list in Appendix A A.5; “Concrete Masonry 4” H Accent Band” is not allowed, because concrete block or masonry unit is not allowed per Appendix A A.6.  
**2<sup>nd</sup> Review: This comment remains. Exterior Finish Schedule A3, Exterior Finish Schedule A3 (concrete masonry) needs city approval.**
4. Exterior Finish Schedule A4, A9: Metal siding are not on the approved material list per Appendix A A.5.  
**2<sup>nd</sup> Review: This comment is addressed. Per Appendix A A.5., metals of aluminum are an acceptable material for decorative applications.**
5. Exterior Finish Schedule A10: Please reevaluate the design to utilize a material chosen from the Allowable material list in Appendix A A.5; “Oldcastle/Echelon Masonry Concrete Masonry Veneer” is not allowed, because concrete block or masonry unit is not allowed per Appendix A A.6.  
**2<sup>nd</sup> Review: This comment remains. Exterior Finish Schedule A10 (split face CMU) needs city approval.**
6. The current design does not provide screening to the proposed trash container. Please reevaluate the design and screen trash container with evergreen hedges, walls, screens planted with evergreen vines per Appendix A F.4.  
**2<sup>nd</sup> Review: This comment is addressed. A screen gate is proposed, as displayed on CEE-1.**

The following comments list items that will need city approval:

1. Board of Alderman shall determine if building materials and facades are uniform and compatible in type, color, and texture with the existing City environment per Section 400.330 A2.
2. Board of Alderman shall determine if the building structure is designed to ensure a strong physical and spatial relationship with Meramec Station Road frontages are created per Appendix A A.2.

3. Board of Alderman shall determine if colors ensure a harmonious range of colors as provided per Appendix A A.6.
  4. Board of Alderman shall determine if the corner of the building has significant articulations through fenestration, building materials, and detailing per Appendix A B.4.a.
- 2<sup>nd</sup> Review: We recommend providing samples for the Board Members.**

The following comments list additional items that will be needed for review:

1. Please dimension the proposed parking spaces; current plans do not dimension the proposed parking spaces. Please ensure the proposed parking spaces are a minimum of 180 square feet, per Section 400.080.  
**2<sup>nd</sup> Review: This comment is addressed.**
2. Please provide a plan that displays the proposed rooftop equipment. Ensure proposed rooftop equipment is adequately screened per Section 400.330 A.6.  
**2<sup>nd</sup> Review: This comment is addressed.**
3. Exterior Finish Schedule A5, A11, A13, A14, A23, A24: With provided information; location was not determined.  
**2<sup>nd</sup> Review: It is addressed that Exterior Finish Schedule A5, A11, A13, A14, A23, A24 are not applicable to this drawing, therefore this comment is addressed.**
4. Exterior Finish Schedule A6: With provided information; location was not determined. Please note: metal siding is not on the approved materials list per Appendix A A.5.  
**2<sup>nd</sup> Review: This comment is addressed. Its location is clarified as the soffit of the canopy.**
5. Exterior Finish Schedule A20: Please provide additional information to ensure the sign is per Section 410.050.  
**2<sup>nd</sup> Review: This is addressed in terms of size, height, and location. The colors need a variance from the city. After variance process, all proposed signage shall be submitted in a separate signage review process; separate signage review process shall be subject to additional comments.**
6. Exterior Finish Schedule E5: Please provide a photometric plan to ensure the proposed light follows light cast regulations per Section 400.330.  
**2<sup>nd</sup> Review: This comment is addressed.**
7. The proposed ADA parking area does not display grading. Grading is necessary to determine whether the space is compliant with ADA requirements. Please provide a grading plan to ensure ADA parking is compliant with the ADA requirements per Appendix A C.2.  
**2<sup>nd</sup> Review: This comment is addressed. More detailed plans are needed for County Review.**

**2<sup>nd</sup> Review: Additional Comments**

1. Please provide a view of Concept Exterior Elevations disclosing the architectural components of the Rear/East Elevation. If there are no changes, please provide a note on the plan.
2. Please disclose whether or not there are any changes to the pylon sign. A sign permit will be needed for any changes.

St. Louis County and MSD have jurisdiction; therefore, County and MSD permits and approval will need to be obtained. Please let me know if you need further explanation on any of these items or if you have additional items that you would like to have reviewed in more detail.

Best regards,



Tiffany Campbell  
BFA, Inc.

**Section 400.490. Certificates of Occupancy.**

- A. No land shall be used and no building erected, converted, enlarged, reconstructed, or structurally altered after the effective date of this Chapter shall be occupied in whole or in part until a certificate of occupancy is issued by the Code Enforcement Official stating that the use or building complies with the requirements of this Chapter, the Building Codes adopted in Chapter 500, and of the ordinances of the City. Issuance of the certificate of occupancy may include prior review by the officials designated by the City Clerk ~~or contracted by the City~~ to administer the City Building Code ~~and by officials of the applicable fire district~~.
- B. Certificates of occupancy for newly built or altered premises shall be applied for coincidentally with the application for a building permit and shall be issued within ten (10) days after the lawful erection, reconstruction or alteration is completed. A record of all building permits and certificates of occupancy shall be kept on file in the City office and copies shall be furnished on request to any person having a proprietary or tenancy interest in the land, building or premises affected.
- C. Whenever the sale of a building results in a change in the ownership or occupancy, or whenever the premises are rented to any first or successor lessee, or whenever there is a change in use of the premises and more than one hundred eighty (180) days has elapsed since the date of the last occupancy inspection of the premises, the buyer or lessee shall be required to possess an occupancy permit in accordance with the provisions of this Section.
- D. The occupancy permit shall not be issued by the Code Enforcement Official until the building or premises has been inspected and the inspector has affixed to the application for such permit an approval that the proposed use and any buildings or structures involved comply in all respects with the provisions of the approved building permit or ~~City~~ the Building Codes. If the Code Enforcement Official finds that the use is in compliance with all applicable provisions of this Section, the Building Codes, and all other applicable City ordinances, he or she may issue said occupancy permit.
- E. The Code Enforcement Official may issue a temporary, thirty-day occupancy permit for a part of a commercial building or for temporary occupancy of a residential premises pending completion of construction or repairs provided the proposed use complies with all applicable requirements of the City ordinances
- F. The inspection fee established in Section 400.500 of this Chapter shall include one (1) reinspection, if required as a result of deficiencies noted in the original inspection. Additional and subsequent inspections required by the Code Enforcement Official in order to verify compliance shall be made only after deposit of a new fee.
- G. No provision contained in this Section shall be interpreted as restricting the right of a seller or lessor to make application and pay the fee for an inspection and occupancy permit.

**Section 400.500. Fees and Deposits.**

- A. The fees and deposits for applications, filings, City review, and exceptions and appeals therefrom pertaining to the City's regulation of land use are established as follows:
  - 1. Zoning Code. ~~Filing Fees~~ for the various ~~procedures and petitions permits and applications required addressed in by~~ Chapter 400, ~~being~~ the City's Zoning Code, and ~~any amendments thereto~~, ~~payable to be submitted by applicants~~ at the time of ~~submission of the applicable~~ application, shall be as follows:

| Application/Permit |   | Amount of Fee/ Deposit   | Zoning Code Reference        |
|--------------------|---|--|------------------------------|
| 1.                 | Rezoning  | \$250.00 plus \$50.00 per acre or part thereof   | § 400.550                    |
| 2.                 | Text amendments   | \$250.00   | § 400.550                    |
| 3.                 | Site plan approval  | \$100.00 plus \$20.00 per acre or part thereof   | §§ 400.170, 400.230, 400.370 |
| 4.                 | Conditional use permit                                    | \$250.00   | §§ 400.420-400.430           |
| 5.                 | Board of Adjustment (appeals/ variances)                  | <ul style="list-style-type: none"> <li>• Single Family Residential <ul style="list-style-type: none"> <li>○ \$50.00 for all acreage</li> </ul> </li> <li>• Commercial and Multi-Family Residential <ul style="list-style-type: none"> <li>○ \$100.00 for less than 1/4 acre</li> <li>○ \$150.00 for 1/4 acre and up to but less than 1/2 acre</li> <li>○ \$200.00 for 1/2 acre and up to but less than 1 acre</li> <li>○ \$300.00 for 1 acre or more</li> </ul> </li> <li>• Signs <ul style="list-style-type: none"> <li>○ \$100.00 for signs</li> </ul> </li> </ul> | § 400.580<br>§ 410.150       |
| 6.                 | Building permit   | <ul style="list-style-type: none"> <li>• \$80.00 (residential)</li> <li>• \$150.00 (commercial — new construction/ addition)</li> <li>• \$85.00 (commercial--alteration/tenant finish)</li> <li>• \$150.00 (demolition for residential/ commercial)</li> </ul>   | § 500.120                    |
| 7.                 | Occupancy permit  | <u>Applicant shall pay City amount equal to the inspection fee incurred by City from St. Louis County; current rates to be kept on file with City Clerk</u>  | § 400.490                    |
| 8.                 | Administrative permit (telecommunications)                | \$500.00   | § 400.440(G)(2)              |
| 9.                 | Development plan or planned residential district approval | \$1,500.00   | §§ 400.340, 400.440          |
| 10.                | Home occupation   | \$25.00  | §§ 400.130, 400.190          |
| 11.                | Special business permit procedure                         | \$250.00   | § 400.180                    |