

**CITY OF TWIN OAKS  
PLANNING AND ZONING COMMISSION MEETING  
BOARD CHAMBERS, TWIN OAKS CITY HALL  
1381 BIG BEND ROAD  
TUESDAY, SEPTEMBER 26, 2023 6:30 P.M.**

**Tentative Agenda**

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF THE AGENDA
5. APPROVAL OF THE CONSENT AGENDA
  - a. August 22, 2023 Minutes
6. NEW BUSINESS
  - a. Consideration of Amended Development Plan for Sav-On Liquor & Wine at 1142 Meramec Station Road
  - b. Consideration of Amended Development Plan for Bartolino’s Restaurant at 1304 Big Bend Road
  - c. Consideration of amendments to Section 400.280 of the City of Twin Oaks Municipal Code pertaining to planned uses
7. MISCELLANEOUS
8. ADJOURNMENT

Frank Johnson  
City Clerk/Administrator

POSTED: September 25, 2023, 10:00 a.m.

**Please note:** Any person requiring physical or verbal accommodations should contact the city office 12 hours prior to meeting at 636-225-7873. Copies of public records for this agenda are available on the City’s website or at City Hall for public inspection before and at the time of the meeting.

**MEETING MINUTES OF THE  
PLANNING & ZONING COMMISSION  
TWIN OAKS, MISSOURI  
TUESDAY, AUGUST 22, 2023**

The Planning and Zoning Meeting was called to order at 6:30 p.m.

Members:	Roger Loesche, Chairman	X	Joe Krewson	
	John Antonacci	X	Lisa Eisenhauer, Alderman	
	Jeff Graves	X	Shazia Brown	X
	Ray Slama	X	Russ Fortune, Mayor	X

Also, in attendance was Frank Johnson, City Clerk/Administrator; Paul Rost, City Attorney.

**APPROVAL OF THE AGENDA**

Commissioner Jeff Graves moved, seconded by Commissioner Ray Slama, to approve the Agenda. Motion passed with the unanimous consent of the Commission.

**APPROVAL OF THE CONSENT AGENDA**

Chairman Roger Loesche moved to approve the Consent Agenda consisting of the meeting minutes from March 28, 2023 and amend the minutes to reflect the correct ending time for the meeting. Commissioner John Antonacci seconded the motion and on voice vote, the motion was announced passed.

**NEW BUSINESS**

**Consideration of Amendments to the City of Twin Oaks Municipal Code Pertaining to the Land Disturbance Code.**

City Clerk/Administrator Frank Johnson stated that the proposed changes replace various references to “St. Louis County” in the code with “City of Twin Oaks” and incorporates several updates St. Louis County has made to the code over the last decade. The changes are designed to clarify the respective roles for the City and St. Louis County in the administration and enforcement of the code. In particular, it clearly establishes that the City does not need to acquire a land disturbance permit for work it does on its own roadways or parks.

Commissioner Shazia Brown proposed that the code be further amended to provide a full reference for a particular acronym on its first use. Mayor Russ Fortune motioned that the Commission recommend the Board of Aldermen approve the proposed changes as amended. Commissioner Antonacci seconded, and the motion passed on unanimous voice vote.

**MISCELLANEOUS BUSINESS**

In response to a question from Commissioner Ray Slama, City Clerk/Administrator Johnson clarified the City’s permit requirements in regards to temporary dumpsters in residential areas.

**ADJOURNMENT**

Commissioner Slama moved, seconded by Commissioner Graves, to adjourn the meeting. Upon voice vote, the motion was announced passed. The meeting adjourned at 6:51 p.m.

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Roger Loesche, Chairman  
Planning & Zoning Commission

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Date of Approval

ATTEST:

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Frank Johnson, City Clerk/Administrator



# CITY OF TWIN OAKS

1381 Big Bend Road • Twin Oaks, MO 63021  
(636) 225-7873 • fax (636) 225-6547 • [www.cityoftwinoaks.com](http://www.cityoftwinoaks.com)

## “C” COMMERCIAL DISTRICT APPLICATION FOR AMENDED FINAL DEVELOPMENT PLAN

*The amended final development plan application constitutes a petition to allow a more flexible but detailed plan. **Eighteen (18) copies** of the amended final development plan shall be submitted, and shall be accompanied by all general application requirements, including an initial application fee (See Section 400.500 of the City Code). The City may require the applicant to deposit additional funds for expenses incurred, but not limited to, costs of title research, surveys, legal and engineering review, cost of traffic and planning or other consultants employed by the City, publication expenses, expenses or notifications to adjoining property owners, expenses of hearings, court reporting, if requested by either the City or the applicant. The City office must receive the additional application fees within seven (7) days of notification. (Please type or print in ink below.)*

### INFORMATION CONCERNING APPLICANT:

**Business/Site Name:** SAV-ON LIQUOR & WINE  
**Location/Address:** 1142 Meramac Station Road, Twin Oaks, Mo. 63021  
**Applicant Name:** Nick Patel  
 Title of Officer for above Applicant (if a corporation or other legal entity): \_\_\_\_\_  
**Officer Full Address:** 904 Spyglass Hill Court Phone #: \_\_\_\_\_  
Caseyville, IL. 62202 Fax #: \_\_\_\_\_  
**Name of Property Owner:** Grocery & Pharmacy Portfolio Springing, LLC, c/o Inland Commercial Real Estate Services, LLC  
**Owner Full Address:** 2901 Butterfield Road Phone #: 630.586.6100  
Oak Brook, IL 60512 Fax #: \_\_\_\_\_  
**Name of Developer:** Grocery & Pharmacy Portfolio Springing, LLC, c/o Inland Commercial Real Estate Services, LLC  
**Developer Full Address:** 2901 Butterfield Road Phone #: 630.586.6100  
Oak Brook, IL 60512 Fax #: \_\_\_\_\_  
**Name of Architect and/or Engineer:** Chiodini Architects

### AMENDED FINAL DEVELOPMENT PLAN SUBMISSION REQUIREMENTS:

*The amended final development plan shall include all information on the approved final development plan, any and all conditions imposed by the Board of Aldermen on approval of the final development plan together with the following:*

- Finished grades or contours for the entire site (five (5) or two (2) foot contour intervals may be required by the City depending on the site).
- All proposed and existing adjacent public street rights-of-way with centerline location.
- All proposed and existing adjacent public street and public drive locations, widths, curb cuts and radii.
- Location, width and limits of all existing and proposed sidewalks.
- Location, size and radii of all existing and proposed median breaks and turning lanes.

- Distance between all buildings, between buildings and property lines, and between all parking areas and property lines.
- Location of all required building and parking setbacks.
- Location, dimensions, number of stories and area in square feet of all proposed buildings.
- Area of land on plan in square feet or acres.
- Limits, location, size and materials to be used in all proposed retaining walls.
- Location and dimensions of all driveways, parking lots, parking spaces, aisles, loading and service areas and docks.
- Location, height, intensity and type of outside lighting fixtures for buildings and parking lots.
- Location, size, and type of material of all proposed monument or freestanding signs.
- Location of adjacent developments, alignment and location of public and private driveways and streets, medians, and public and semi-public easements.
- Final storm water collection, detention and erosion control plans.
- Final analysis of the capacity of the existing sanitary sewer receiving system.
- Final water and sanitary sewer plans.
- Final written approval from all interested jurisdictions, including MSD and Valley Park Fire District or West County Fire District, as applicable.
- Final landscaping and natural resources protection plans.

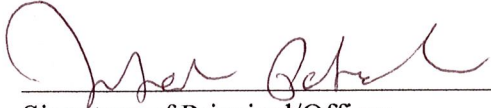
**NOTE:** *At least one (1) copy of the proposed final development plan, building elevations and landscaping, screening and planting and buffer strip plans shall be reduced onto eight and one-half (8 1/2) inch by eleven (11) inch bond paper.*

**Also submitted with the Amended Final Development Plan are (check  all that are included):**

- One (1) or more illustrations showing building elevations including elevations of all sides of proposed buildings including notation indicating building materials and colors to be used on exteriors and roofs, dimensions and areas of all floors within the proposed buildings. Size, location, color and materials of all signs to be attached to building exteriors. Location, size and materials to be used in all screening of rooftop mechanical equipment. Building sections.
- One (1) or more illustrations showing landscaping and buffer strip plans.
- Deeds of dedication for all rights-of-way or easements required as a result of preliminary development plan approval, if conveyance thereof is not to be made by plat or by the filing of the final development plan.
- A copy of all covenants and restrictions applicable to the development, if required by the terms of the preliminary development plan.
- Evidence of the establishment of the agency for the ownership and maintenance of any common open space and all assurances of the financial and administrative ability of such agency, if required by the terms of the approved preliminary development plan.
- Approved request for master common signage plan containing all materials submitted to and approved by the Board of Aldermen.

**Representation Concerning Authority & Compliance With Laws**

I am authorized by the applicant to sign on his/her/its behalf and have read this application in its entirety. The information contained herein is true, and correct and complete to the best of my knowledge, information and belief. I hereby represent on behalf of applicant that the business(es) conducted by applicant and/or which are the subject of this application do not and will not violate any ordinance of the City of Twin Oaks and now comply and/or will continue to comply fully with the laws of the State of Missouri. Applicant acknowledges that failure to truthfully complete this application or failure to comply with all laws may result in revocation of relevant approvals or permits.



Signature of Principal/Officer

Nick Patel

Print Name

8-4-2023

Date

President

Title

**Verification by Owner and Tenant(s)**

If the application is on behalf of a tenant for property owned by a person or entity other than the tenant, the owner must verify that the owner has read the application and consents to its review and possible approval by the City. If the application is submitted by the owner only, tenants need not sign the application.

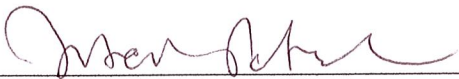
The undersigned hereby acknowledges that she or he has read the application, understands that the application seeks approval of a final development plan for the property, and consents to its submission for City review and possible approval.

Signature of Owner

Date

Print Name

Title



8-4-2023

Signature of Tenant

Date

Nick Patel

President

Print Name

Title

If more than one tenant is applying, please attach all tenants' signatures on a separate sheet.

\* \* \* \* \* **FOR OFFICE USE ONLY** \* \* \* \* \*

Date of Board of Aldermen Decision: \_\_\_\_\_

Approved

Disapproved

Amount Paid: \$ \_\_\_\_\_

Cash/Check #: \_\_\_\_\_

Date Rec'd: \_\_\_\_\_

**Representation Concerning Authority & Compliance With Laws**

I am authorized by the applicant to sign on his/her/its behalf and have read this application in its entirety. The information contained herein is true, and correct and complete to the best of my knowledge, information and belief. I hereby represent on behalf of applicant that the business(es) conducted by applicant and/or which are the subject of this application do not and will not violate any ordinance of the City of Twin Oaks and now comply and/or will continue to comply fully with the laws of the State of Missouri. Applicant acknowledges that failure to truthfully complete this application or failure to comply with all laws may result in revocation of relevant approvals or permits.

\_\_\_\_\_  
Signature of Principal/Officer  
**Nick Patel**  
\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Date  
\_\_\_\_\_  
Title

**Verification by Owner and Tenant(s)**

If the application is on behalf of a tenant for property owned by a person or entity other than the tenant, the owner must verify that the owner has read the application and consents to its review and possible approval by the City. If the application is submitted by the owner only, tenants need not sign the application.

The undersigned hereby acknowledges that she or he has read the application, understands that the application seeks approval of a final development plan for the property, and consents to its submission for City review and possible approval.

DocuSigned by:  
*Don Stewart*  
0DC841D387864BF...  
\_\_\_\_\_  
Signature of Agent for Owner  
Don Stewart  
\_\_\_\_\_  
Print Name

8/9/2023  
\_\_\_\_\_  
Date  
SVP Property Management Commercial  
\_\_\_\_\_  
Title

\_\_\_\_\_  
Signature of Tenant  
**Nick Patel**  
\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Date  
\_\_\_\_\_  
Title

If more than one tenant is applying, please attach all tenants' signatures on a separate sheet.

\* \* \* \* \* **FOR OFFICE USE ONLY** \* \* \* \* \*

Date of Board of Aldermen Decision: \_\_\_\_\_  Approved  Disapproved

Amount Paid: \$ \_\_\_\_\_ Cash/Check #: \_\_\_\_\_ Date Rec'd: \_\_\_\_\_

**Certificate Of Completion**

Envelope Id: 36BE8FC67E3F47F7AFC89CE44BBD0DF8	Status: Completed
Subject: Complete with DocuSign: Amended Final Development Plan Application.pdf	
Source Envelope:	
Document Pages: 3	Signatures: 1
Certificate Pages: 2	Initials: 0
AutoNav: Enabled	Envelope Originator:
Envelope Stamping: Enabled	Dawn Checchin
Time Zone: (UTC-06:00) Central Time (US & Canada)	2901 Butterfield Rd
	Oakbrook, IL 60523
	dawn.checchin@inlandgroup.com
	IP Address: 98.52.94.71

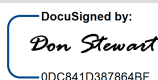
**Record Tracking**

Status: Original	Holder: Dawn Checchin	Location: DocuSign
8/8/2023 9:59:48 AM	dawn.checchin@inlandgroup.com	

**Signer Events**

Don Stewart  
don.stewart@inlandgroup.com  
SVP Property Management Commercial  
Inland Commercial Real Estate Services LLC  
Security Level: Email, Account Authentication (None)

**Signature**

DocuSigned by:  
  
0DC841D387864BF...  
Signature Adoption: Pre-selected Style  
Using IP Address: 174.209.196.91  
Signed using mobile

**Timestamp**

Sent: 8/8/2023 10:01:04 AM  
Resent: 8/9/2023 9:36:09 AM  
Viewed: 8/9/2023 9:44:03 AM  
Signed: 8/9/2023 9:44:30 AM

**Electronic Record and Signature Disclosure:**  
Not Offered via DocuSign

**In Person Signer Events**

**Signature**

**Timestamp**

**Editor Delivery Events**

**Status**

**Timestamp**

**Agent Delivery Events**

**Status**

**Timestamp**

**Intermediary Delivery Events**

**Status**

**Timestamp**

**Certified Delivery Events**

**Status**

**Timestamp**

**Carbon Copy Events**

**Status**

**Timestamp**

Dawn Checchin  
dawn.checchin@inlandgroup.com  
Administrative Assistant  
The Inland Real Estate Group, LLC (TIREG)  
Security Level: Email, Account Authentication (None)

**COPIED**

Sent: 8/9/2023 9:44:31 AM  
Resent: 8/9/2023 9:44:33 AM  
Viewed: 8/9/2023 9:47:08 AM

**Electronic Record and Signature Disclosure:**  
Not Offered via DocuSign

**Witness Events**

**Signature**

**Timestamp**

**Notary Events**

**Signature**

**Timestamp**

**Envelope Summary Events**

**Status**

**Timestamps**

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Certified Delivered	Security Checked	8/9/2023 9:44:03 AM
Signing Complete	Security Checked	8/9/2023 9:44:30 AM
Completed	Security Checked	8/9/2023 9:44:31 AM



THIS WORK PREPARED BY OR UNDER THE AUTHORITY OF THE ENGINEER HAS BEEN AUTHENTICATED BY HIS SEAL AND DATED ONLY, INCLUDING GRADING, DRAINAGE, APPROPRIATE TO THE PROJECTS. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE ELEMENTS SPECIFICALLY IDENTIFIED IN THE ELEMENTS INCLUDING RETAINING WALLS, FOUNDATIONS, STRUCTURES, UTILITIES, AND ALL RECOMMENDATIONS, UTILITY DISTRIBUTION METHODS AND SCHEDULING. ANY AND ALL OTHER WORK NOT SHOWN ON THIS PLAN OR REPORTS THAT DO NOT BEAR THE SEAL OR DATE OF THE ENGINEER.

**Sav-On Liquor & Wine**  
1142 Meramec Station Road  
Twin Oaks, MO 63021

**Vance Engineering, Inc.**  
10537 Lackland Road  
St. Louis, MO 63114  
P: 314.427.1800

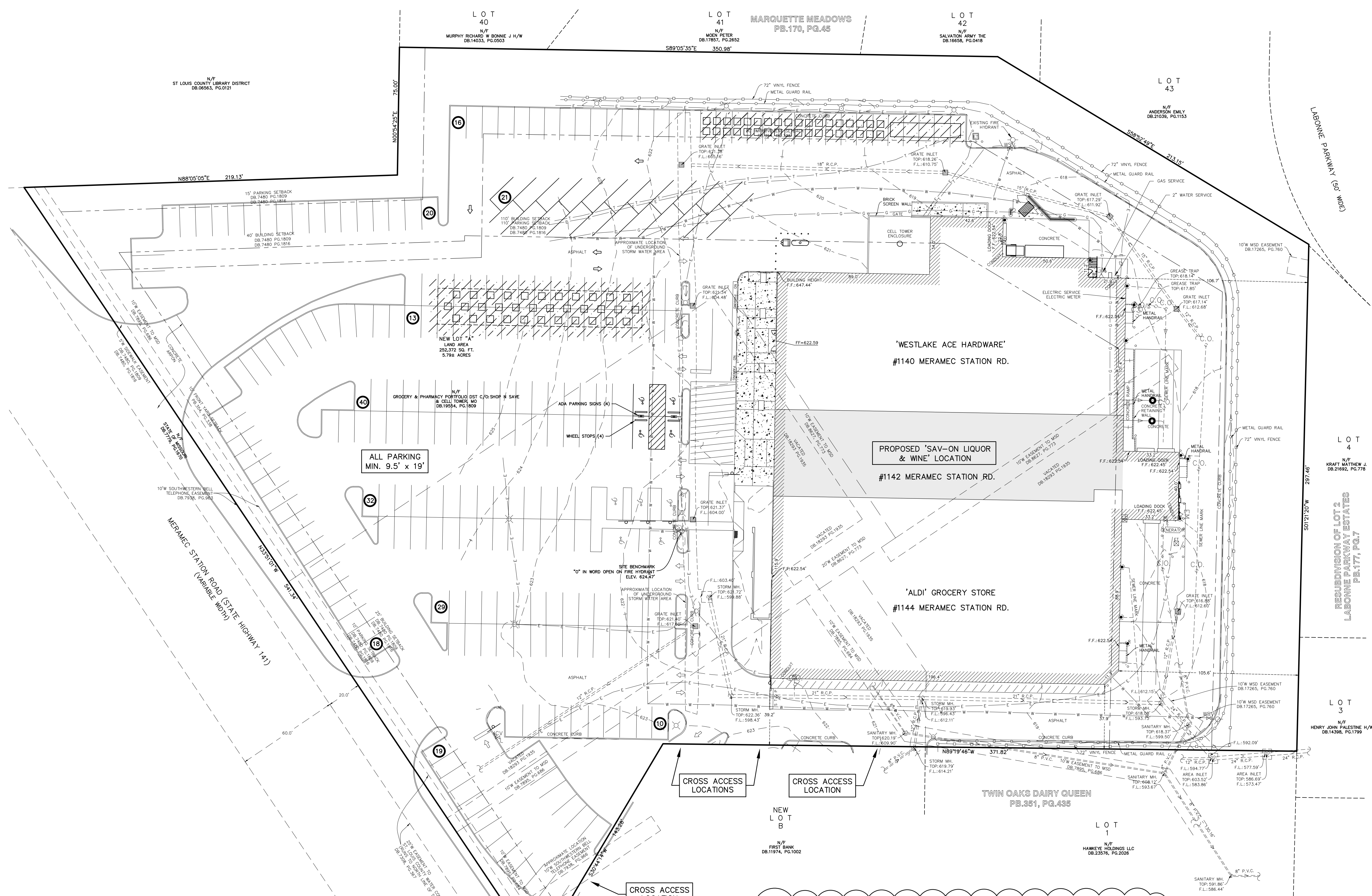
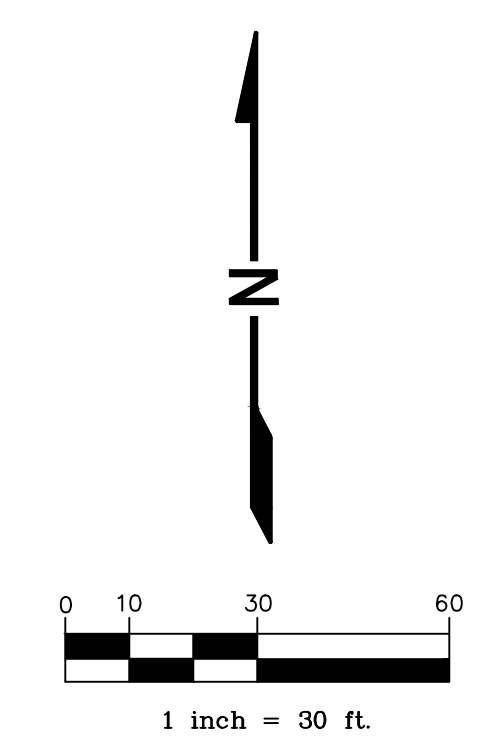
**SAV-ON LIQUOR + WINE**

**OVERALL SITE PLAN**

PRELIMINARY

MICHAEL CLAY VANCE, P.E.  
E-25616  
REVISED

21128.01  
08/02/23  
C3  
COPYRIGHT 2023



**NOTES**

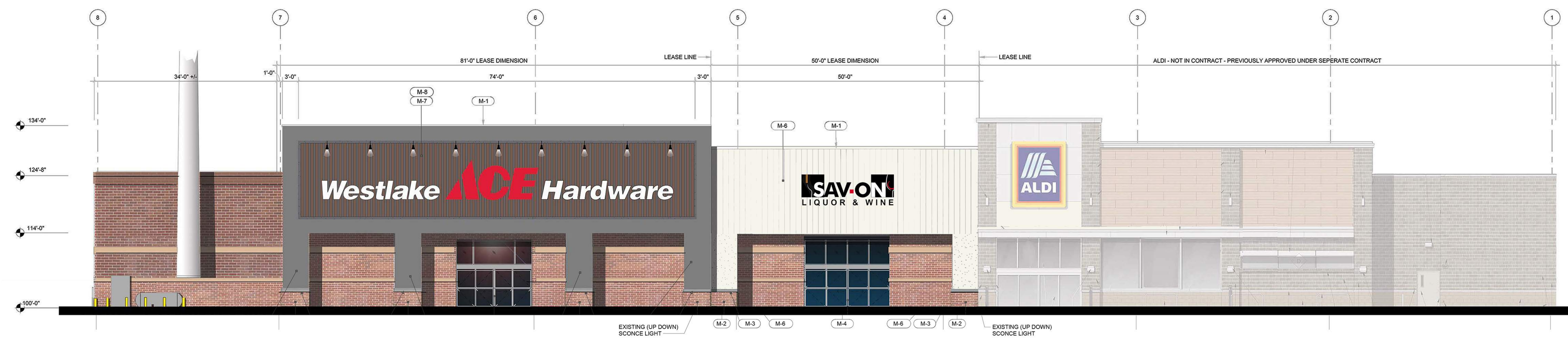
THIS PLAN SHEET HAS BEEN REVISED FROM THE FINAL 'WESTLAKE ACE HARDWARE' PLANS TO SHOW THE PROPOSED 'SAV-ON LIQUOR AND WINE' IN THE FORMERLY LABELED 'FUTURE TENANT LOCATION'.

NO SITE WORK OR ALTERATION OF THE FINAL 'WESTLAKE ACE HARDWARE' SITE PLANS ARE PROPOSED WITH THIS PLAN SHEET.

THIS PLAN SHEET DOES NOT AND IS NOT INTENDED TO SHOW ANY EXISTING OR PROPOSED LANDSCAPING OR PLANTINGS.

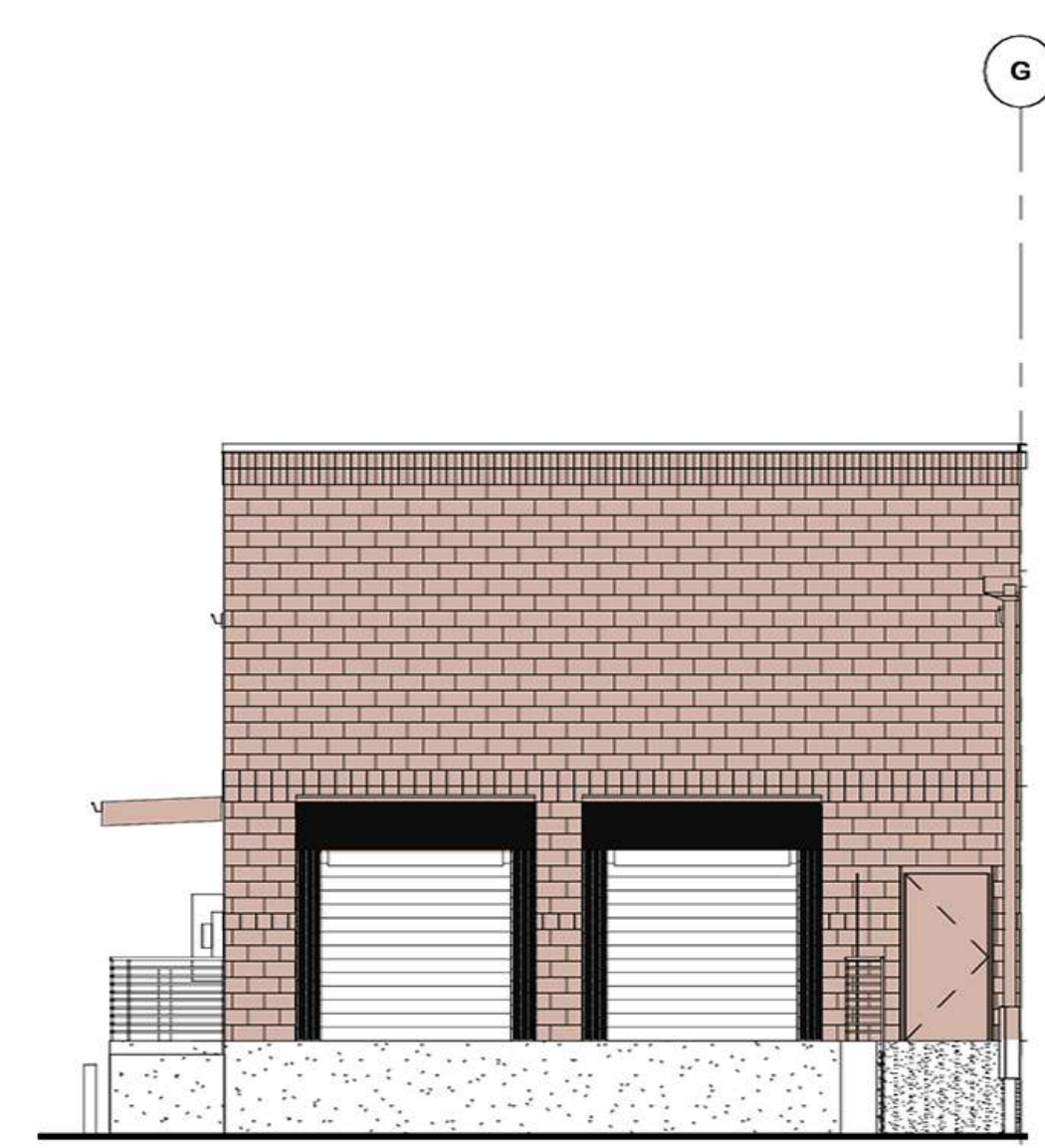
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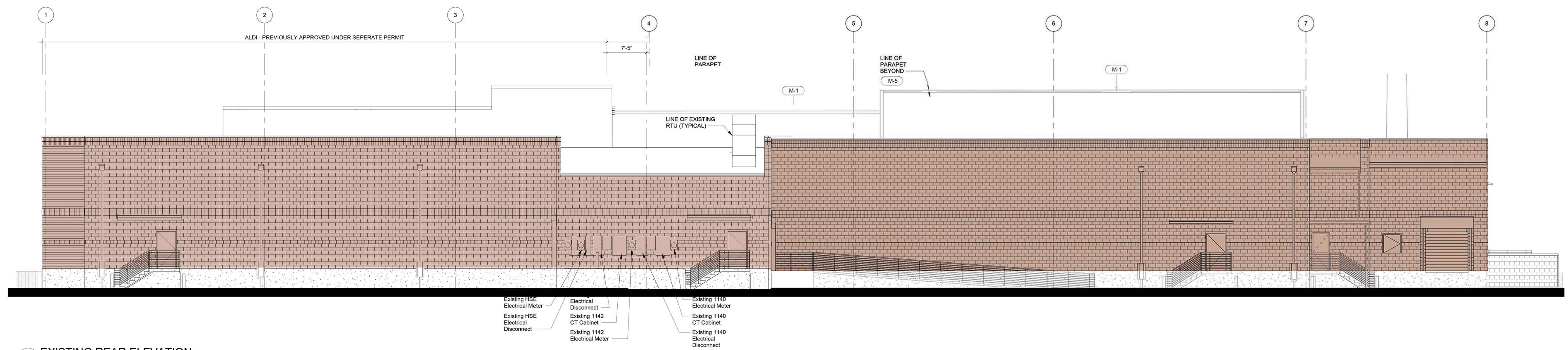


1 EXISTING FRONT ELEVATION  
1/8" = 1'-0"

SYMBOL	MATERIAL	COLOR	NOTES
M-1	EXISTING PREFINISHED METAL CAP FLASHING	M-4 -SILVER METALLIC	EXISTING CONTINUOUS WIND CLEAT
M-2	EXISTING UTILITY BRICK	MOUNTAIN RED	EXISTING MORTAR SOLOMON 10X LIGHT BUFF
M-3	EXISTING CAST STONE SILL	PEWTER	EXISTING 4" SMOOTH FACED SILL
M-4	EXISTING PRE FINISHED ALUMINUM STOREFRONT SYSTEM	ANODIZED ALUMINUM	EXISTING 1" INSULATED GLASS WITH LOW-E COATING AND ARGON FILL
M-5	EXISTING TPO MEMBRANE ROOFING	WHITE	EXISTING ON BACK SIDE OF EXISTING SIGNFIELD
M-6	EXISTING WHITE EIFS	(#310 CHINA WHITE)	EXISTING 1 1/2" EIFS - SCORED VERTICALLY AT 12" O.C.



2 EXISTING RECEIVING ELEVATION  
1/8" = 1'-0"



3 EXISTING REAR ELEVATION  
1/8" = 1'-0"

**SAV-ON LIQUOR & WINE**  
1142 MERAMEC STATION ROAD  
TWIN OAKS MISSOURI 63021

REVISIONS:

NO.	DESCRIPTION

PROGRESS DRAWINGS  
NOT FOR CONSTRUCTION

EXISTING BUILDING ELEVATIONS  
Project Number: 2023.038  
Date: 2023.7.11

CEE-2



**front elevation**  
scale: 1/4"=1'-0"

TOTAL SIGNAGE AREA=67.62S.F.+  
TENANT ELEVATION AREA = 1,350 S.F.  
5% OF TENANT ELEVATION=67.5 S.F.

**City staff has calculated the signage dimensions as follows:**  
Total Signage area: 5.5' x 16' = 88 SF  
Tenant Elevation Area: 51' x30.3' = 1,545 sq ft  
5% of Tenant Elevation = 77.25 SF

FABRICATED AND INSTALL - 3" LED INTERNALLY ILLUMINATED ALUMINUM CABINETS WITH ACRYLIC FACES - SOLID BACK & RETURNS PAINTED GLOSS BLACK SQUARE TO BE NON-ILLUM. ALUM. BOX PAINTED RE - ALL SIDES ATTACHED TO RACEWAY.

ALUMINUM RACEWAY - PAINT TO MATCH EXISTING WALL COLOR. NONCORROSIVE MOUNTS. RACEWAY SHOULD BE A MINIMAL DEPTH

"AV" "O" - LED INTERNALLY LAMINATED - .090 THICK ALUMINUM CAN WITH ACRYLIC FACE AND 3" RETURNS. DAY / NIGHT V.D.C. GRAPHICS. RETURN PAINTED BLACK ATTACHED TO RACEWAY

1' X 2" CUT "SINTRA" OR EQUAL LETTERS PIN MOUNT WITH NONCORROSIVE STANDOFFS - OFF WALL 4"

SIGN TO BE CENTER OVER DOORS AND WITHIN SIGN AREA

POWER / HOOKUP BY SIGN CONTRACTOR



**Chiodini**  
ARCHITECTS

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And shall not be used, reproduced or copied in whole or in part without the premission of CHIODINI ARCHITECTS  
1401 South Brentwood Blvd.  
Saint Louis, Missouri 63144  
314.725.5588  
email: arch@chiodini.com

**SAV-ON**  
LIQUOR & WINE

sheet **issued**

september 7, 2023

sheet **approval**

sheet **number**

**a1**

FINISH AND MATERIAL SCHEDULE			
SYMBOL	MATERIAL	COLOR	NOTES
M-1	EXISTING PREFINISHED METAL CAP FLASHING	M-4 - SILVER METALLIC	EXISTING CONTINUOUS WIND CLEAT
M-2	EXISTING UTILITY BRICK	MOUNTAIN RED	EXISTING MORTAR SOLOMON 10X LIGHT BUFF
M-3	EXISTING CAST STONE SILL	PEWTER	EXISTING 4" SMOOTH FACED SILL
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M-6	EXISTING WHITE EIFS	(#310 CHINA WHITE)	EXISTING 1 1/2" EIFS - SCORED VERTICALLY AT 12" O.C.



1 CONCEPT 1142 ELEVATION  
1/2" = 1'-0"

2 ENTRY SIGN  
1/2" = 1'-0"

THE ARCHITECT EXPRESSLY RESERVES HIS COMMON LAW AND STATUTORY LAW COPYRIGHTS AND OTHER PROPERTY RIGHTS FOR THESE "ARCHITECTURAL WORKS" AND "TECHNICAL DOCUMENTS" AND ANY DERIVATIVES THEREOF. THESE DRAWINGS AND DOCUMENTS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY MANNER WHATSOEVER FOR ANY USE WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF LOUIS G. CHADINE CHADINE ASSOCIATES, INC. ANY USE NOT SO ASSIGNED TO ANY PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

© COPYRIGHT PENDING

**SAV-ON LIQUOR & WINE**  
1142 MERAMEC STATION ROAD  
TWIN OAKS MISSOURI 63021

REVISIONS:

NO.	DATE	DESCRIPTION

PROGRESS DRAWINGS  
NOT FOR CONSTRUCTION

CONCEPT EXTERIOR ELEVATION  
Project Number: 2023.038  
Date: 2023.7.11



**redesignpanel**  
scale: N.T.S

NEW CABINET 3'X10' ( VERIFY )  
WITH ACRYLIC FACES WITH V.D.C. GRAPHICS  
INTERNALLY ILLUMINATED - LED  
POWER TO NEW CABINET PER SIGN CONTRACTOR

PAINT ALL RETURNS TO MATCH EXISTING

DESIGN SHOULD BE APPROVED BY CENTER DEVELOPER  
FOR LEASE REQUIREMENTS



**existingpanel**

*Chiodini*  
ARCHITECTS

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1401 South Brentwood Blvd.  
Saint Louis, Missouri 63144  
314.725.5588  
email: arch@chiodini.com



sheetissued

september 7, 2023

sheetapproval

sheetnumber

**a2**



# CITY OF TWIN OAKS

1381 Big Bend Road • Twin Oaks, MO 63021  
(636) 225-7873 • fax (636) 225-6547 • [www.cityoftwinoaks.com](http://www.cityoftwinoaks.com)

## “C” COMMERCIAL DISTRICT APPLICATION FOR AMENDED FINAL DEVELOPMENT PLAN

The amended final development plan application constitutes a petition to allow a more flexible but detailed plan. **Eighteen (18) copies** of the amended final development plan shall be submitted, and shall be accompanied by all general application requirements, including an initial application fee (See Section 400.500 of the City Code). The City may require the applicant to deposit additional funds for expenses incurred, but not limited to, costs of title research, surveys, legal and engineering review, cost of traffic and planning or other consultants employed by the City, publication expenses, expenses or notifications to adjoining property owners, expenses of hearings, court reporting, if requested by either the City or the applicant. The City office must receive the additional application fees within seven (7) days of notification. *(Please type or print in ink below.)*

### INFORMATION CONCERNING APPLICANT:

**Business/Site Name:** BARTOLINO'S

**Location/Address:** 1304 BIG BEND, TWIN OAKS, MO 63088

**Applicant Name:** TOM NIEMEIER, OWNER/ARCHITECT, SPACE LLC

Title of Officer for above Applicant (if a corporation or other legal entity): MANAGING MEMBER

Officer Full Address: 4168 MANCHESTER Phone #: 3145344168  
ST LOUIS, MO 63110 Fax #: \_\_\_\_\_

**Name of Property Owner:** Haley Holdings Seven LLC

Owner Full Address: 17 Research Park Drive Phone #: 314-503-5006  
Suite 100; St. Charles, MO 63304 Fax #: N/A

**Name of Developer:** Propper Construction Services Inc.

Developer Full Address: 17 Research Park Drive Phone #: 314-503-5006  
Suite 100; St Charles, MO 63304 Fax #: N/A

**Name of Architect and/or Engineer:** TOM NIEMEIER, ARCHITECT

### AMENDED FINAL DEVELOPMENT PLAN SUBMISSION REQUIREMENTS:

The amended final development plan shall include all information on the approved final development plan, any and all conditions imposed by the Board of Aldermen on approval of the final development plan together with the following:

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- All proposed and existing adjacent public street and public drive locations, widths, curb cuts and radii.
- Location, width and limits of all existing and proposed sidewalks.
- Location, size and radii of all existing and proposed median breaks and turning lanes.

- Distance between all buildings, between buildings and property lines, and between all parking areas and property lines.
- Location of all required building and parking setbacks.
- Location, dimensions, number of stories and area in square feet of all proposed buildings.
- Area of land on plan in square feet or acres.
- Limits, location, size and materials to be used in all proposed retaining walls.
- Location and dimensions of all driveways, parking lots, parking spaces, aisles, loading and service areas and docks.
- Location, height, intensity and type of outside lighting fixtures for buildings and parking lots.
- Location, size, and type of material of all proposed monument or freestanding signs.
- Location of adjacent developments, alignment and location of public and private driveways and streets, medians, and public and semi-public easements.
- Final storm water collection, detention and erosion control plans.
- Final analysis of the capacity of the existing sanitary sewer receiving system.
- Final water and sanitary sewer plans.
- Final written approval from all interested jurisdictions, including MSD and Valley Park Fire District or West County Fire District, as applicable.
- Final landscaping and natural resources protection plans.

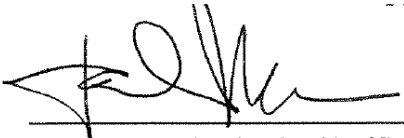
**NOTE:** *At least one (1) copy of the proposed final development plan, building elevations and landscaping, screening and planting and buffer strip plans shall be reduced onto eight and one-half (8 1/2) inch by eleven (11) inch bond paper.*

**Also submitted with the Amended Final Development Plan are (check  all that are included):**

- One (1) or more illustrations showing building elevations including elevations of all sides of proposed buildings including notation indicating building materials and colors to be used on exteriors and roofs, dimensions and areas of all floors within the proposed buildings. Size, location, color and materials of all signs to be attached to building exteriors. Location, size and materials to be used in all screening of rooftop mechanical equipment. Building sections.
- One (1) or more illustrations showing landscaping and buffer strip plans.
- Deeds of dedication for all rights-of-way or easements required as a result of preliminary development plan approval, if conveyance thereof is not to be made by plat or by the filing of the final development plan.
- A copy of all covenants and restrictions applicable to the development, if required by the terms of the preliminary development plan.
- Evidence of the establishment of the agency for the ownership and maintenance of any common open space and all assurances of the financial and administrative ability of such agency, if required by the terms of the approved preliminary development plan.
- Approved request for master common signage plan containing all materials submitted to and approved by the Board of Aldermen.

**Representation Concerning Authority & Compliance With Laws**

I am authorized by the applicant to sign on his/her/its behalf and have read this application in its entirety. The information contained herein is true, and correct and complete to the best of my knowledge, information and belief. I hereby represent on behalf of applicant that the business(es) conducted by applicant and/or which are the subject of this application do not and will not violate any ordinance of the City of Twin Oaks and now comply and/or will continue to comply fully with the laws of the State of Missouri. Applicant acknowledges that failure to truthfully complete this application or failure to comply with all laws may result in revocation of relevant approvals or permits.


  
\_\_\_\_\_  
Signature of Principal/Officer  
Tom NIEMEIER  
\_\_\_\_\_  
Print Name

9/8/23  
\_\_\_\_\_  
Date  
MANAGING MEMBER  
\_\_\_\_\_  
Title

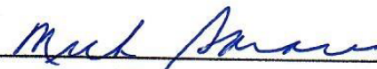
**Verification by Owner and Tenant(s)**

If the application is on behalf of a tenant for property owned by a person or entity other than the tenant, the owner must verify that the owner has read the application and consents to its review and possible approval by the City. If the application is submitted by the owner only, tenants need not sign the application.

The undersigned hereby acknowledges that she or he has read the application, understands that the application seeks approval of a final development plan for the property, and consents to its submission for City review and possible approval.

  
\_\_\_\_\_  
Signature of Owner  
Timothy Breece  
\_\_\_\_\_  
Print Name

9-8-23  
\_\_\_\_\_  
Date  
Authorized Signatory  
\_\_\_\_\_  
Title

  
\_\_\_\_\_  
Signature of Tenant  
MICHAEL SARACINO  
\_\_\_\_\_  
Print Name

9/7/23  
\_\_\_\_\_  
Date  
OWNER  
\_\_\_\_\_  
Title

If more than one tenant is applying, please attach all tenants' signatures on a separate sheet.

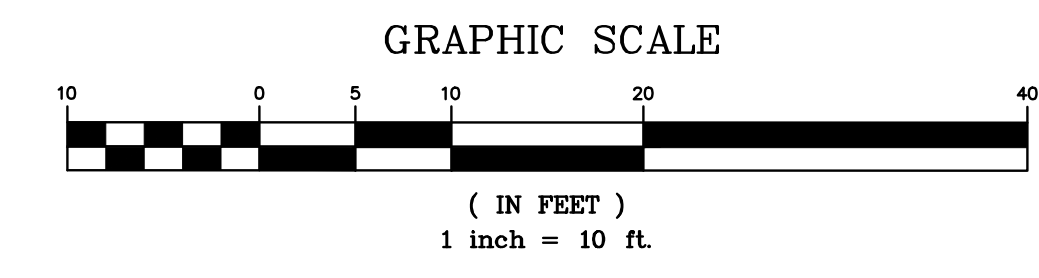
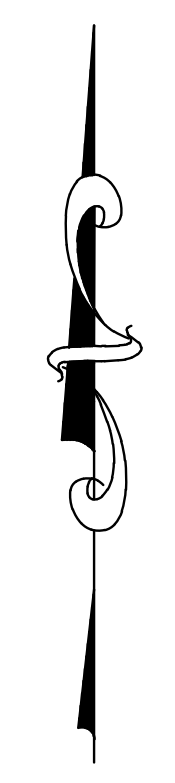
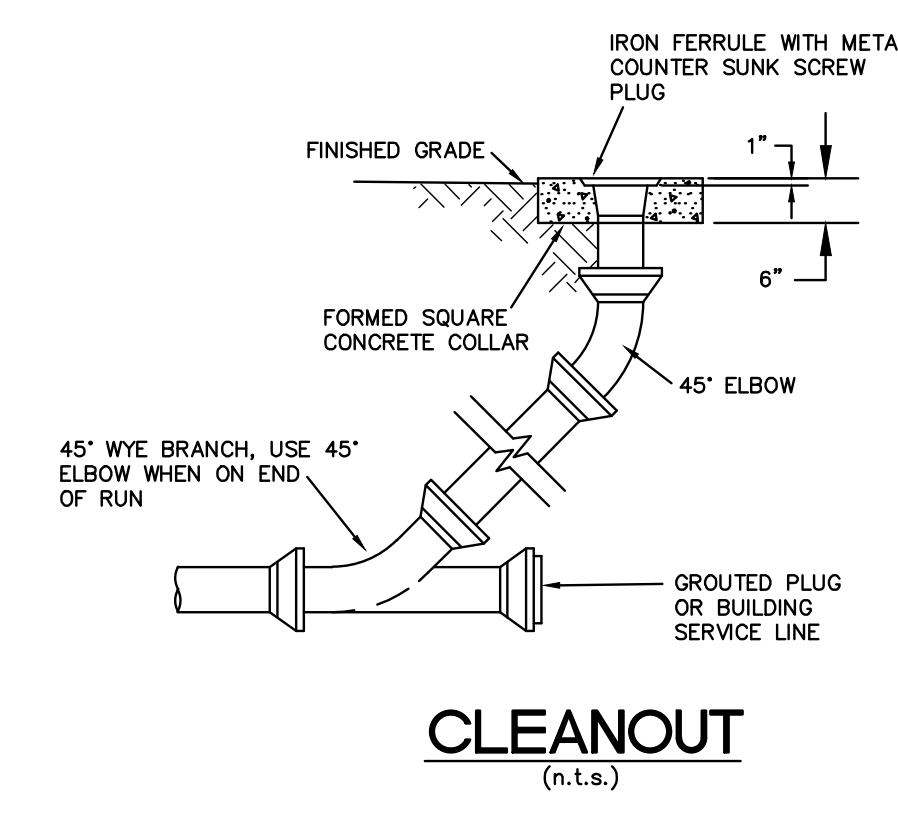
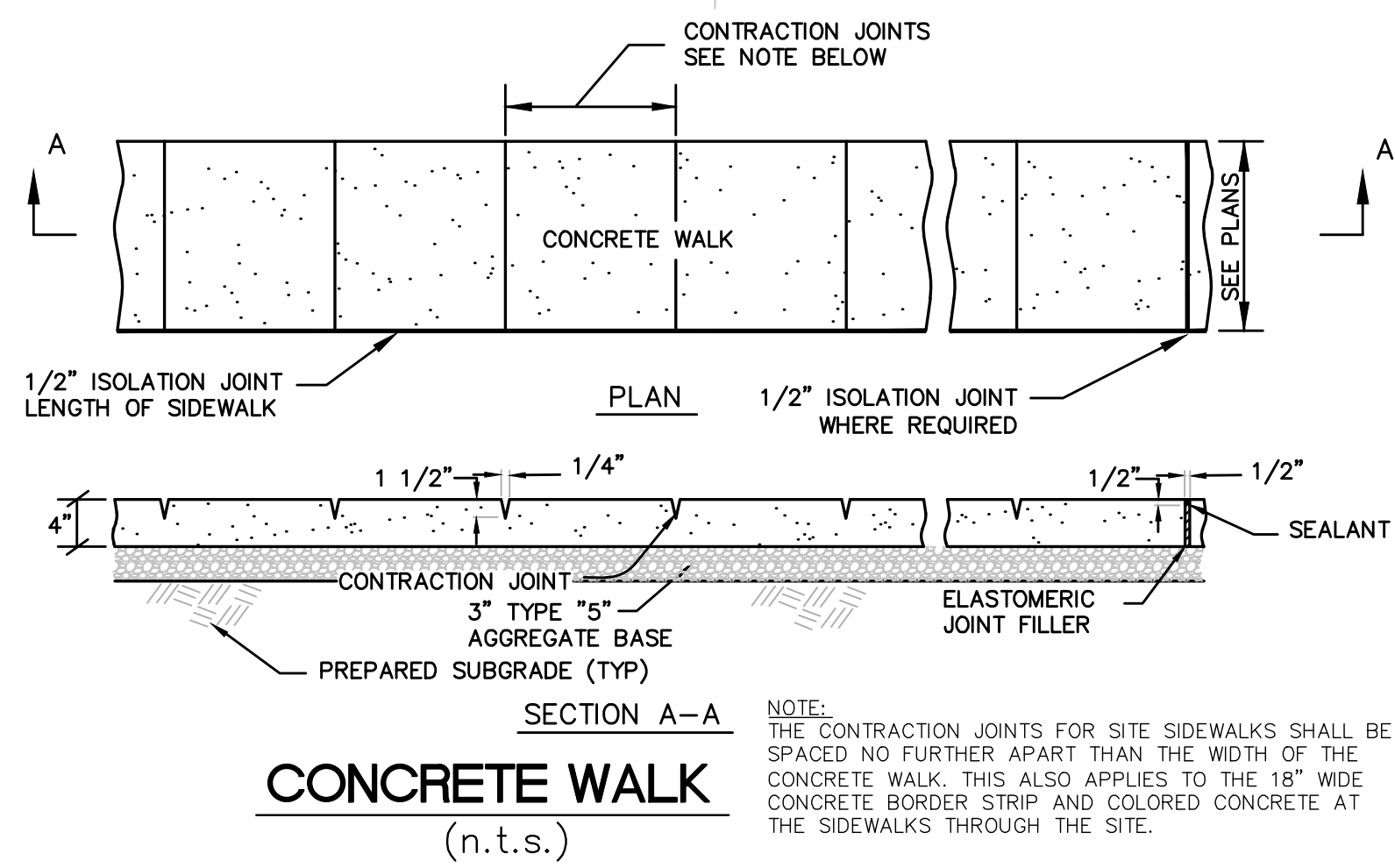
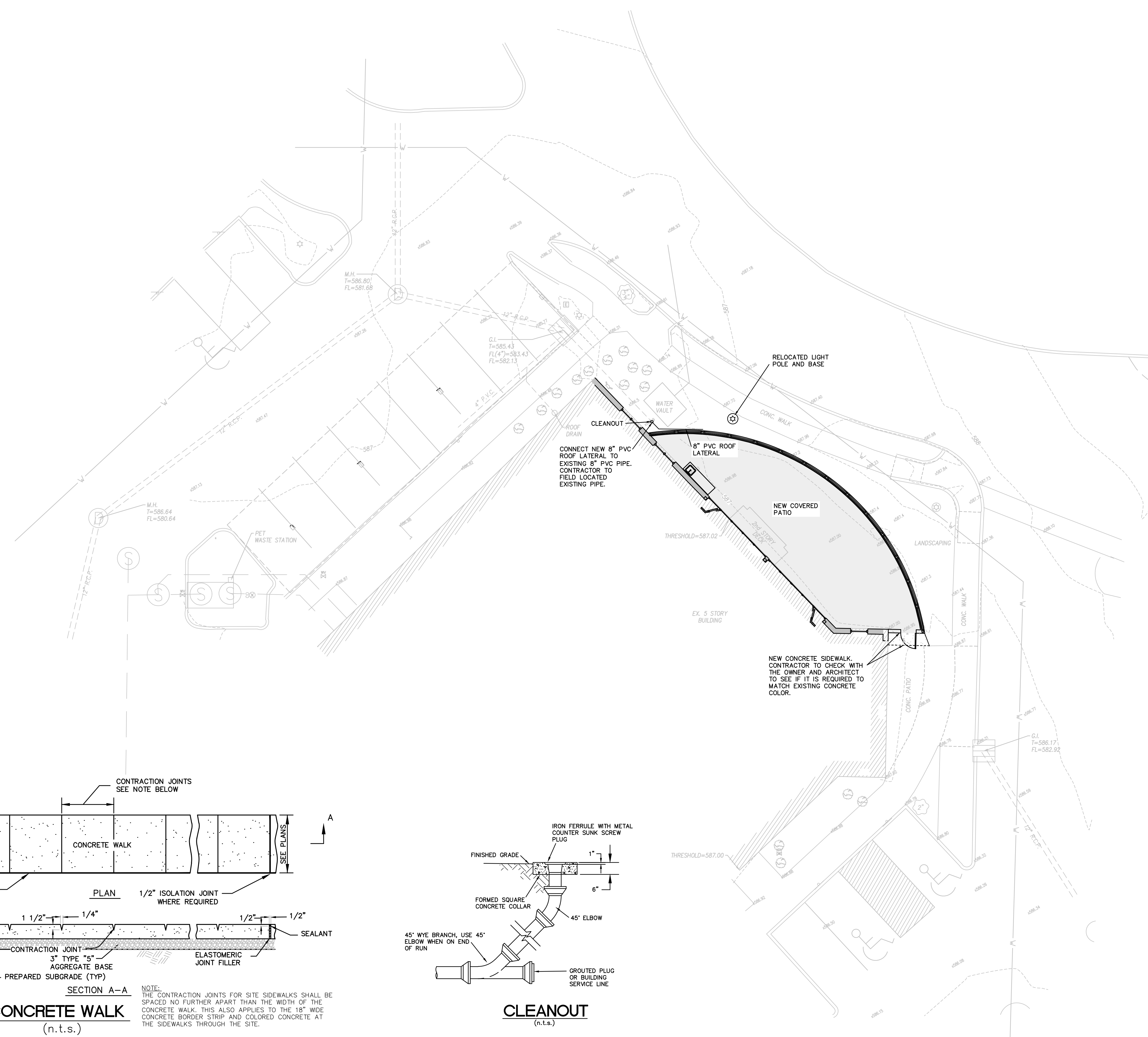
\* \* \* \* \* **FOR OFFICE USE ONLY** \* \* \* \* \*

Date of Board of Aldermen Decision: \_\_\_\_\_  Approved  Disapproved

Amount Paid: \$ \_\_\_\_\_ Cash/Check #: \_\_\_\_\_ Date Rec'd: \_\_\_\_\_

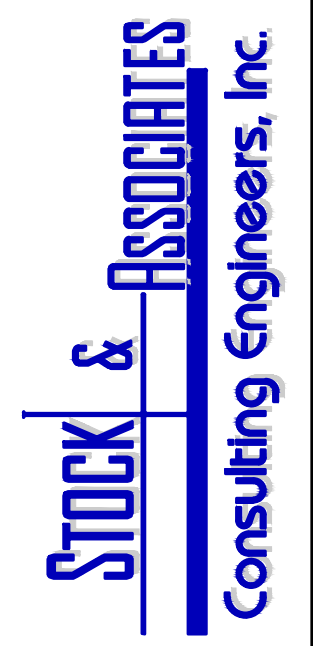


DRAWING FILE: C:\DRAWING\2023\18-000\18-000-001-001.dwg LAYOUT: 03 - SITE PLAN AND DETAILS PLOTTED: Aug 18, 2023 1:40pm PLOTTED BY: mcflynn



**STORMWATER MANAGEMENT FUTURE DISTURBANCE NOTE:**  
 PROJECT DISTURBANCE = 1,200 S.F. OR 0.03 ACRES  
 EXISTING IMPERVIOUS AREA WITHIN DISTURBANCE = 950 S.F.  
 PROPOSED IMPERVIOUS AREA WITHIN DISTURBANCE = 933 S.F.  
 PROJECT RUNOFF DIFFERENTIAL = 0.00 CFS  
 ANY FUTURE LAND DISTURBANCE AND/OR INCREASE IN IMPERVIOUS AREA ON THIS SITE MAY REQUIRE ADDITIONAL STORMWATER MANAGEMENT PER MSD REGULATIONS IN PLACE AT THAT TIME (INCLUDING TOTAL LAND DISTURBANCE AND/OR IMPERVIOUSNESS ADDED ON THIS PLAN.)

PREPARED BY:

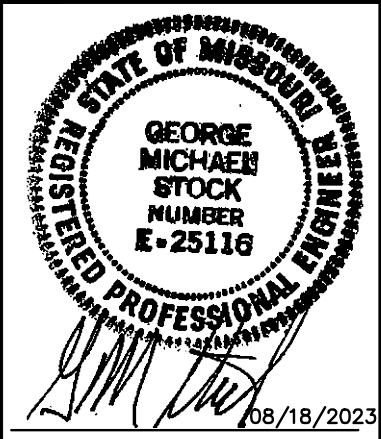


257 Chesterfield Business Parkway  
 St. Louis, MO 63015 PH: (636) 530-9100 FAX: (636) 530-9130  
 e-mail: general@stockassoc.com Web: www.stockassoc.com

IMPROVEMENT PLANS FOR:

**TWIN OAKS - BARTOLINO'S**

1304 BIG BEND RD.  
 TWIN OAKS, MO 63021



GEORGE M. STOCK E-25116  
 CIVIL ENGINEER  
 CERTIFICATE OF AUTHORITY  
 NUMBER: 000998

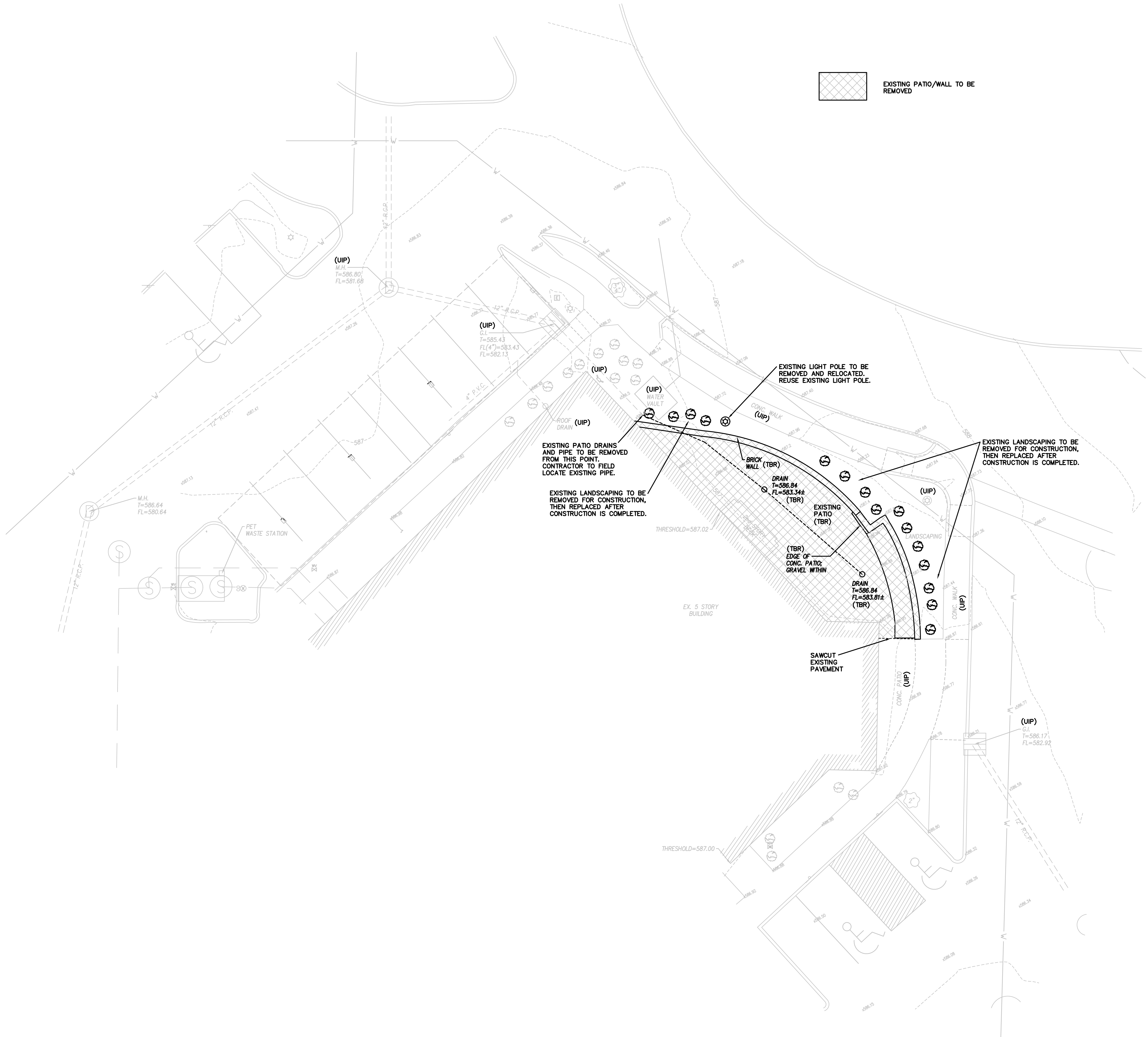
REVISIONS:

DRAWN BY: E.J.F.	CHECKED BY: G.M.S.
DATE: 08/18/2023	JOB NO: 216-5798.6
M.S.D. P #:	BASE MAP #:

SHEET TITLE:  
**SITE PLAN AND DETAILS**

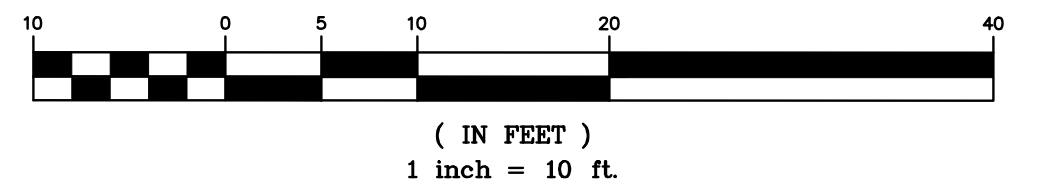
SHEET NO.:  
**C3**

DRAWING FILE: C:\DRAWING\2023\TWIN OAKS - BARTOLINO'S - DEMOLITION PLAN.PLOTTER.DWG LAYOUT: 002 - EXISTING CONDITIONS - DEMOLITION PLAN.PLOTTER - Aug 15, 2023 - 4:48pm PLOTTED BY: G.M.S.



EXISTING PATIO/WALL TO BE REMOVED

GRAPHIC SCALE



( IN FEET )  
1 inch = 10 ft.

PREPARED BY:

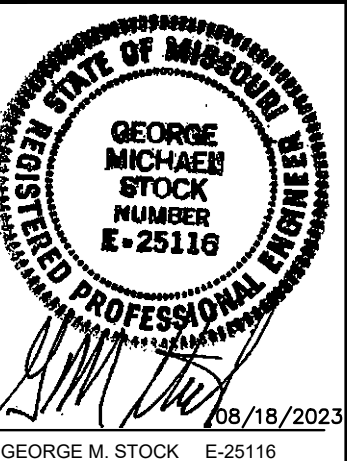
**STOCK & ASSOCIATES**  
Consulting Engineers, Inc.

257 Chesterfield Business Parkway  
St. Louis, MO 63015 PH: (636) 530-9100 FAX: (636) 530-9100  
e-mail: general@stockassoc.com Web: www.stockassoc.com

IMPROVEMENT PLANS FOR:

# TWIN OAKS - BARTOLINO'S

1304 BIG BEND RD.  
TWIN OAKS, MO 63021



GEORGE M. STOCK E-25116  
CIVIL ENGINEER  
CERTIFICATE OF AUTHORITY  
NUMBER: 000998

REVISIONS:

DRAWN BY: E.J.F. CHECKED BY: G.M.S.  
DATE: 08/18/2023 JOB NO: 216-5798.6  
M.S.D. P #: BASE MAP #:

SHEET TITLE:  
EXISTING CONDITIONS/  
DEMOLITION PLAN

SHEET NO.:  
C2

**GENERAL NOTES - FURNITURE**  
 1 ALL FURNISHINGS DEPICTED ARE OWNER FURNISH, CONTRACTOR INSTALL.

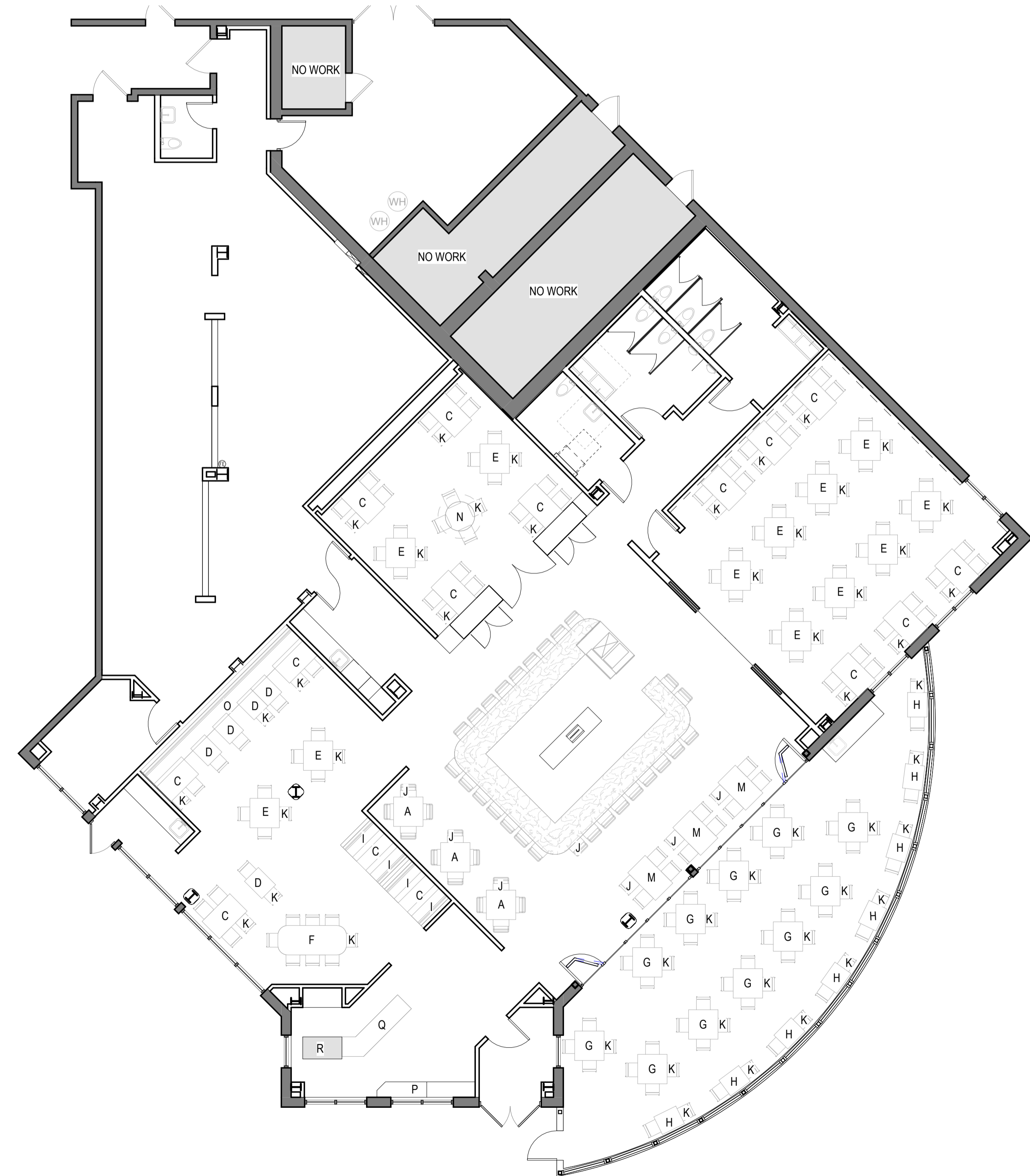
A

B

C

D

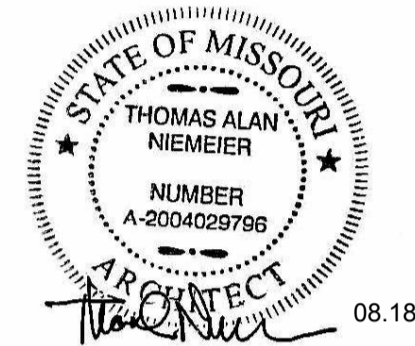
EVENT SPACE SEATING: 56 seats  
 WINE AREA SEATS: 28 seats  
 BAR SEATS: 27 seats  
 BAR DINING SEATS: 24 seats  
 DINING SEATS: 46 seats  
 PATIO ENCLOSURE SEATS: 60 seats  
 TOTAL SEATS: 241 seats



FURNITURE SCHEDULE			
KEY	QUANTITY	ITEM	ACCESSORIES/ NOTES
A	3	36"X36" TABLETOP	42" BAR HEIGHT
B	-	-	-
C	15	30"X48" TABLETOP	STANDARD HEIGHT
D	5	24"X30" TABLE	STANDARD HEIGHT
E	12	36"X36" TABLE	STANDARD HEIGHT
F	1	7' TABLE	STANDARD HEIGHT
G	11	36"X36" TABLETOP	STANDARD HEIGHT
H	8	24"X30" TABLETOP	STANDARD HEIGHT
I	4	28"X48" BOOTH	STANDARD HEIGHT
J	51	BAR HEIGHT STOOL	STANDARD HEIGHT
K	174	DINING CHAIR	STANDARD HEIGHT
L			
M	3	30"X48" TABLETOP	42" BAR HEIGHT
N	1	FOLDABLE ROUNDTOP	
O	1	BANQUETTE	V.I.F LENGTH OF BANQUETTE
P	1	BENCH	V.I.F. LENGTH OF BENCHS
Q	1	HOST STAND	PROVIDE POWER AS REQUIRED
R	1	DISPLAY CASE	PROVIDE POWER AS REQUIRED

5 FURNITURE PLAN - LEVEL 1  
 A2-01 1/8" = 1'-0" REFERENCING 6 / A5-00

**SPACE**  
 ARCHITECTS DESIGNERS BUILDERS  
 4168 MANCHESTER  
 ST. LOUIS, MO 63110  
 314.534.4168 PHONE  
 314.534.2026 FAX  
 WWW.SPACESTL.COM  
 MISSOURI STATE CERT. OF AUTHORITY #LC0648752



TOM NIEMEIER - ARCHITECT  
 A-2004029796

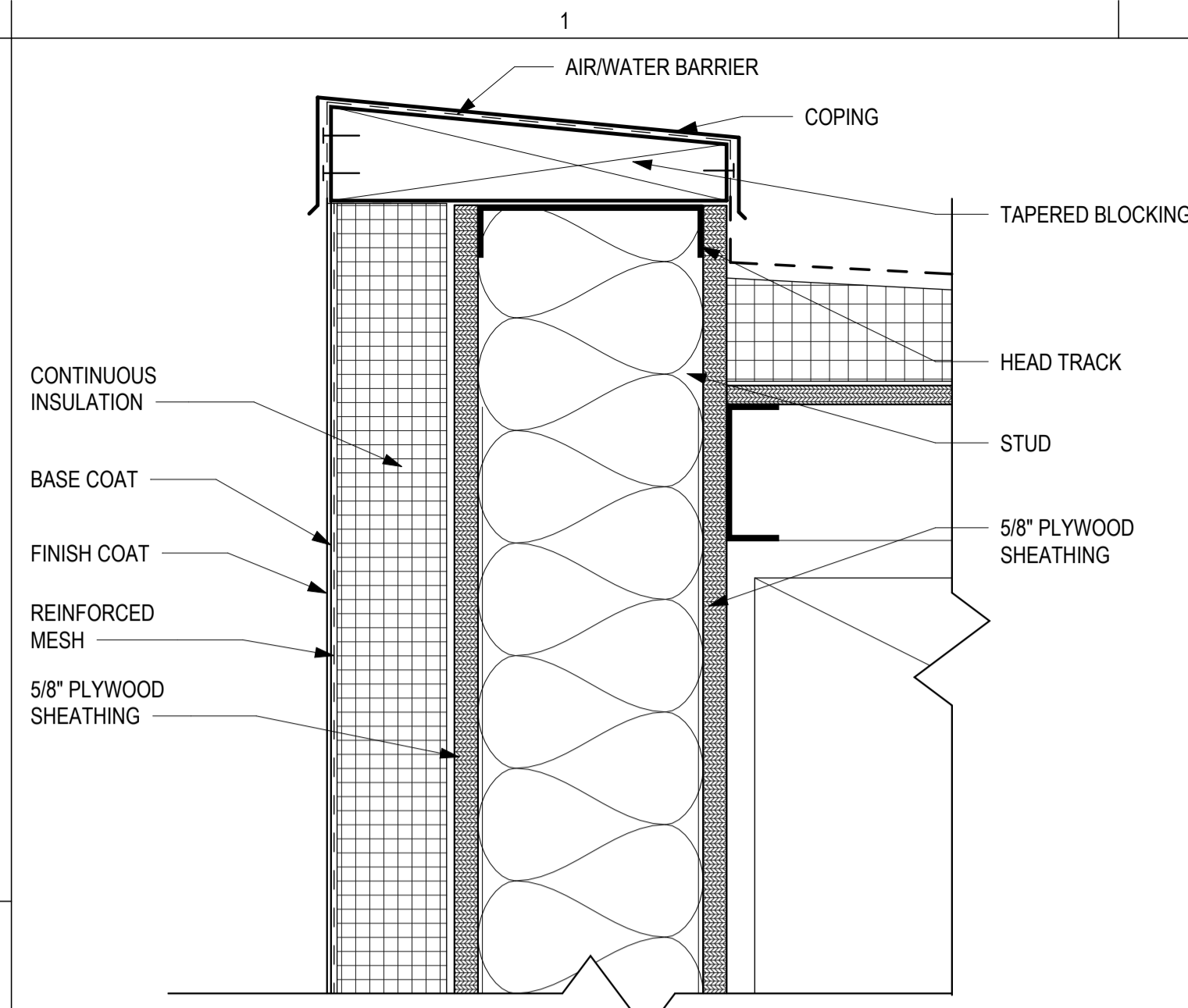
THE SEAL(S) AND SIGNATURE(S) APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE AFFIXED, AND WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OF PARTS OF THE PROJECT.

CONSTRUCTION DOCUMENTS: 2023.08.18  
**TWIN OAKS**  
**BARTOLINO'S**  
 1304 BIG BEND RD. TWIN OAKS, MO 63021

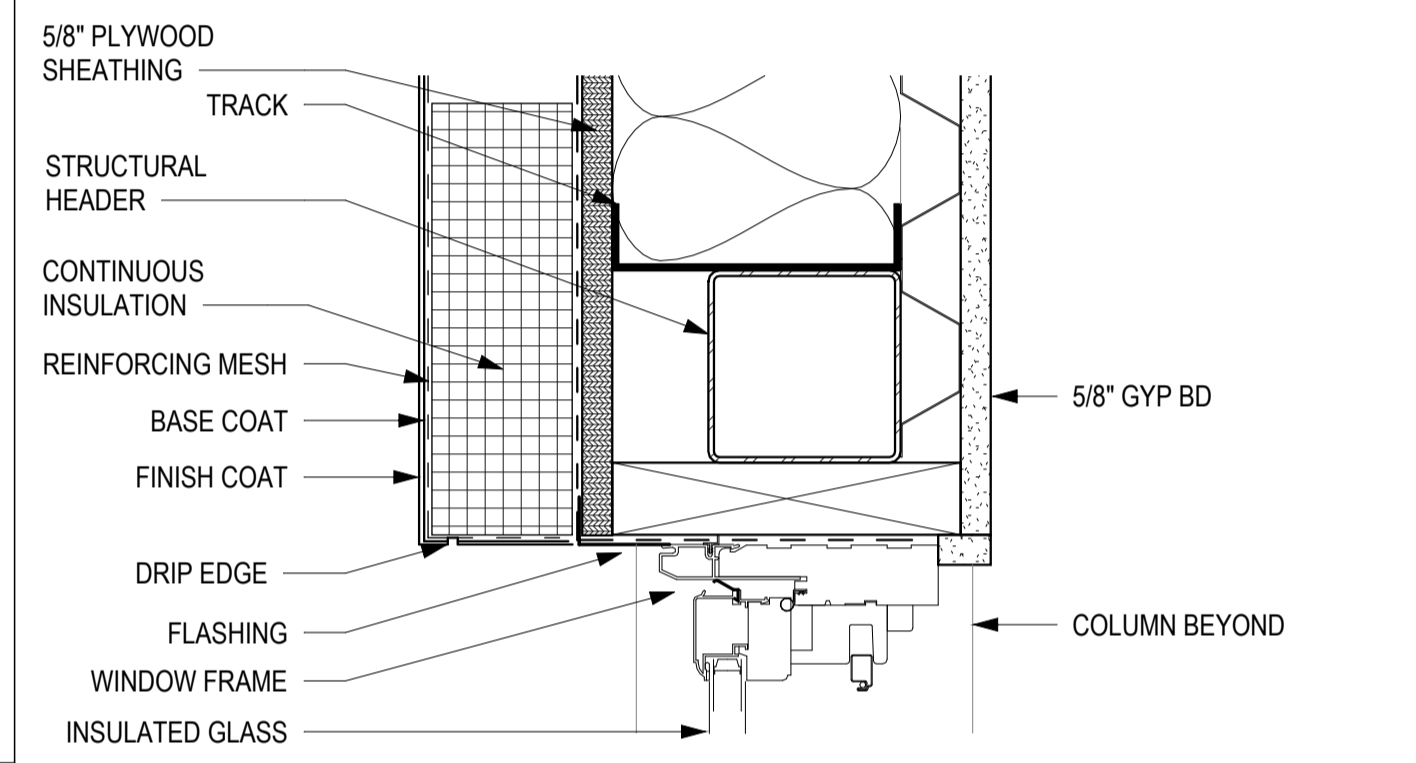
REVISION SCHEDULE		
NO.	DATE	REVISIONS

SHEET NO:  
**A2-01**  
 FURNITURE PLAN

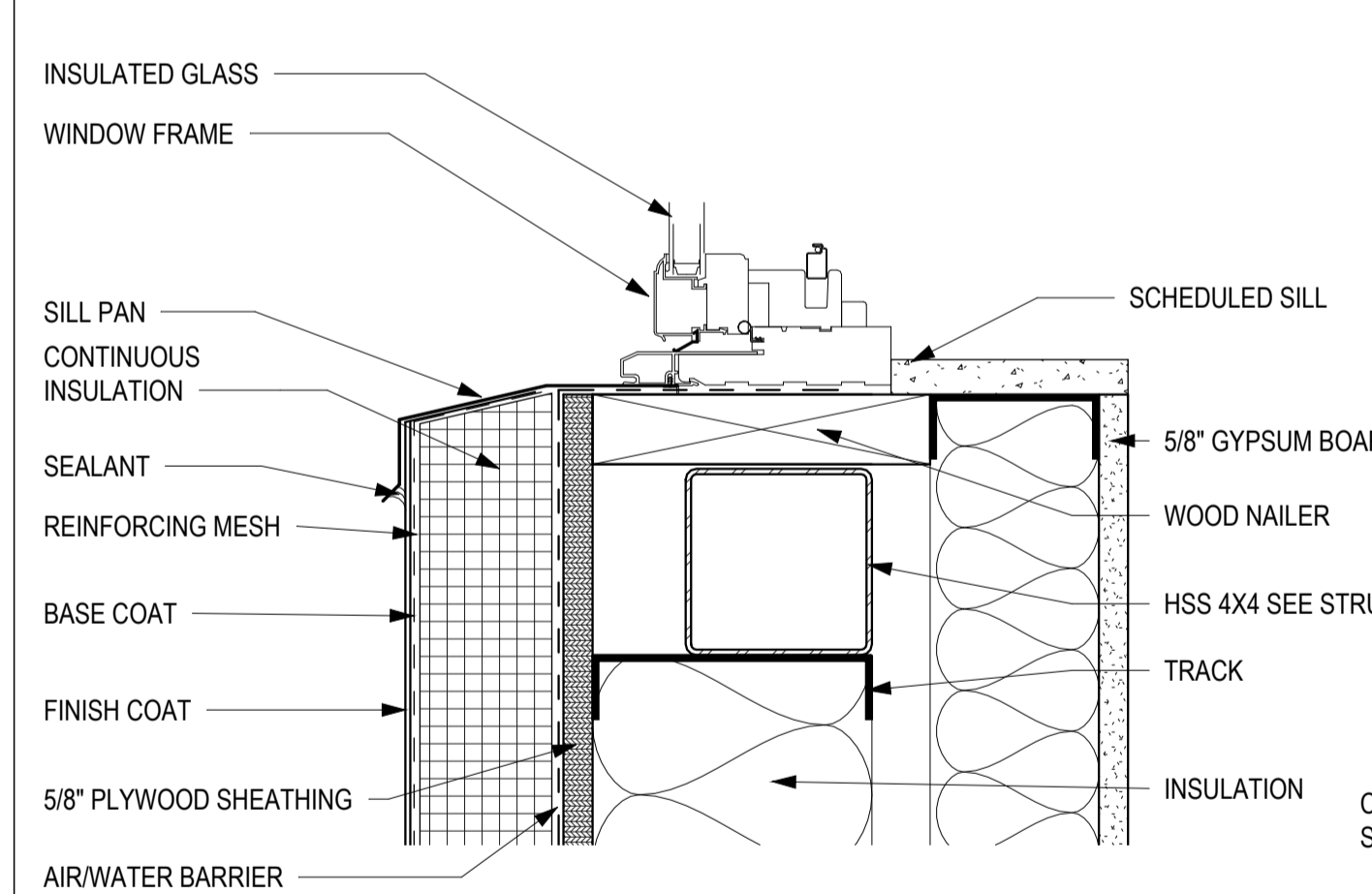
CONSTRUCTION DOCUMENTS  
 ISSUE DATE: 2023.08.18  
 PROJECT NO: 22-027



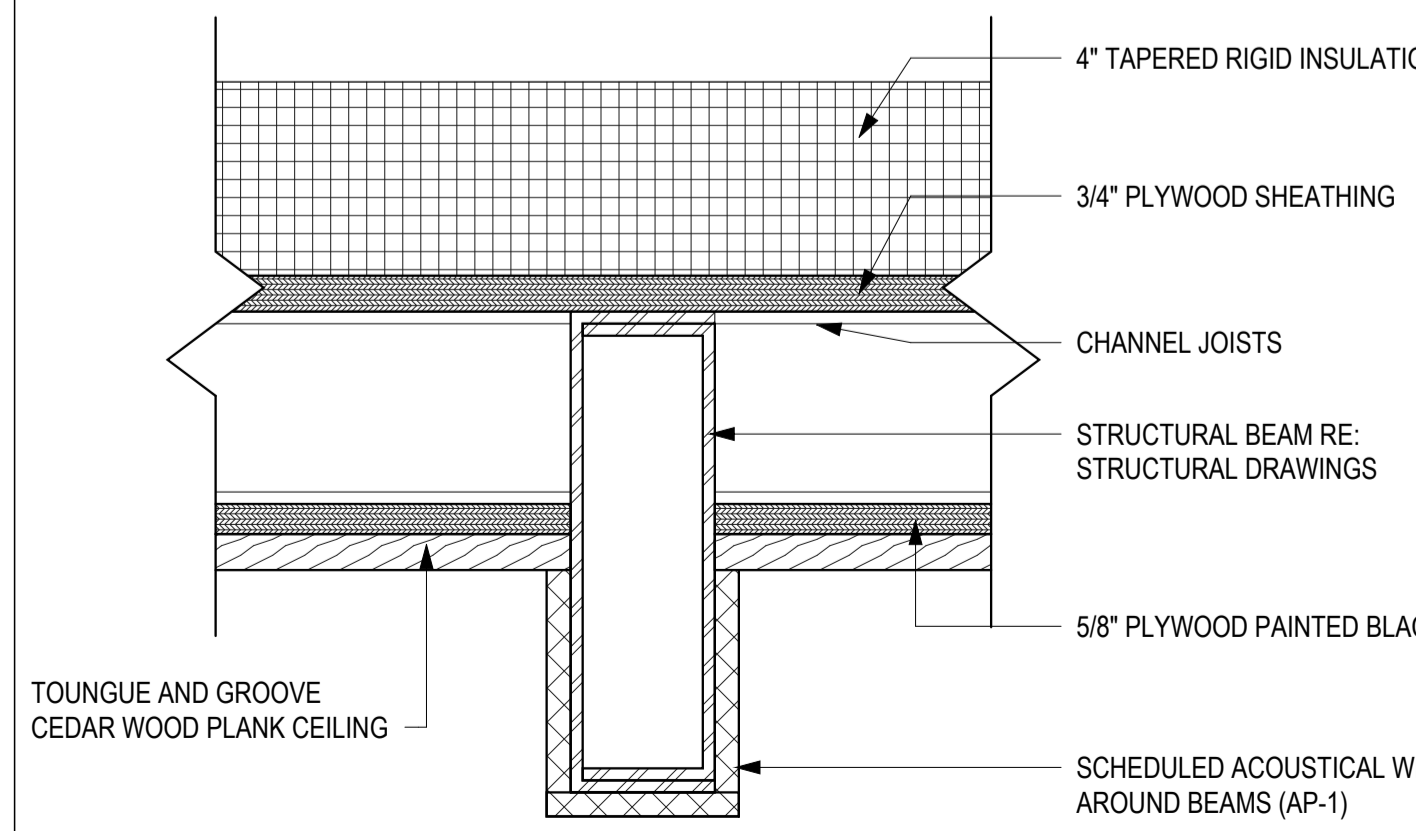
**16 Parapet Detail**  
 3" = 1'-0" REFERENCING 11 / A9-02



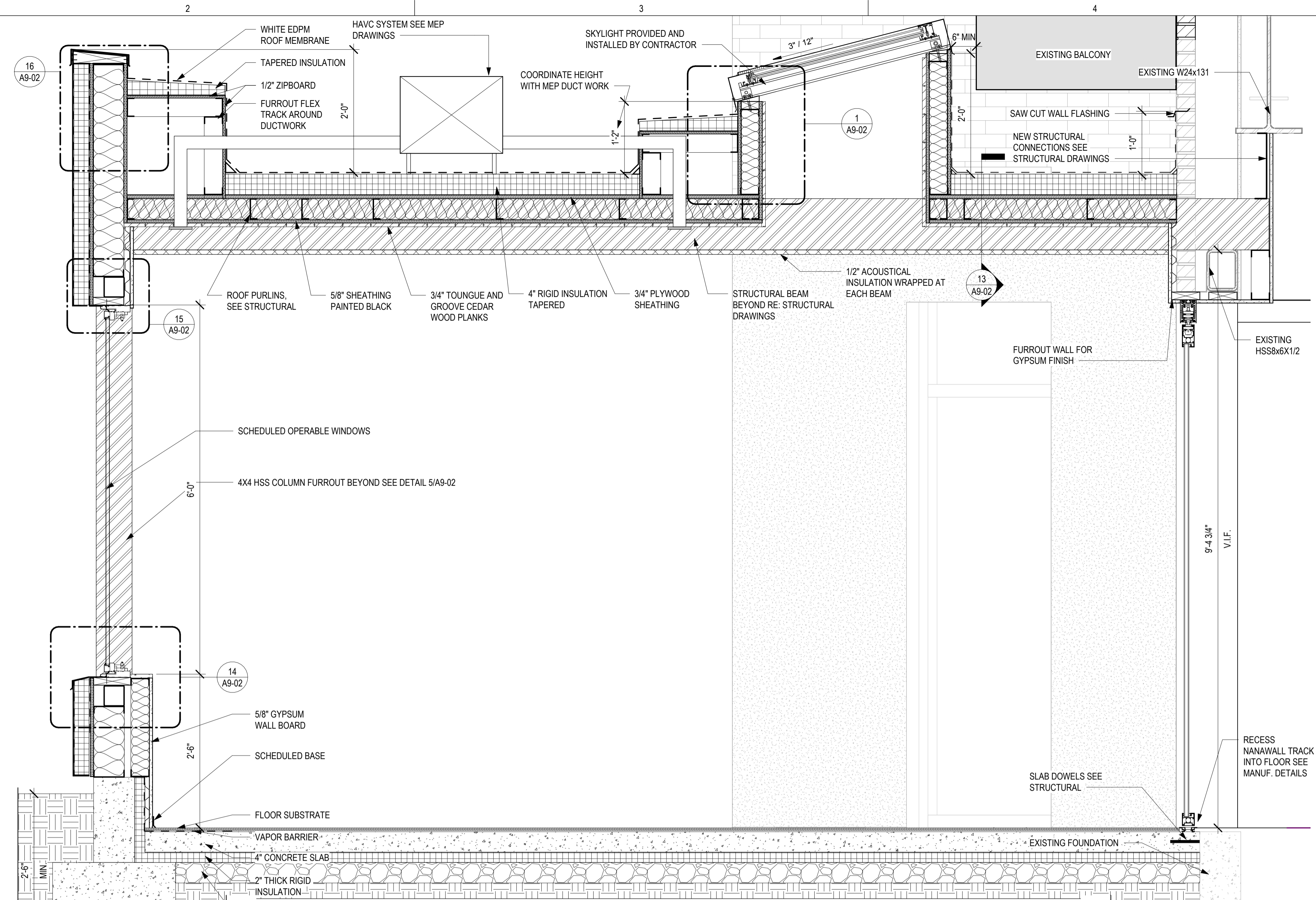
**15 Header Detail**  
 3" = 1'-0" REFERENCING 11 / A9-02



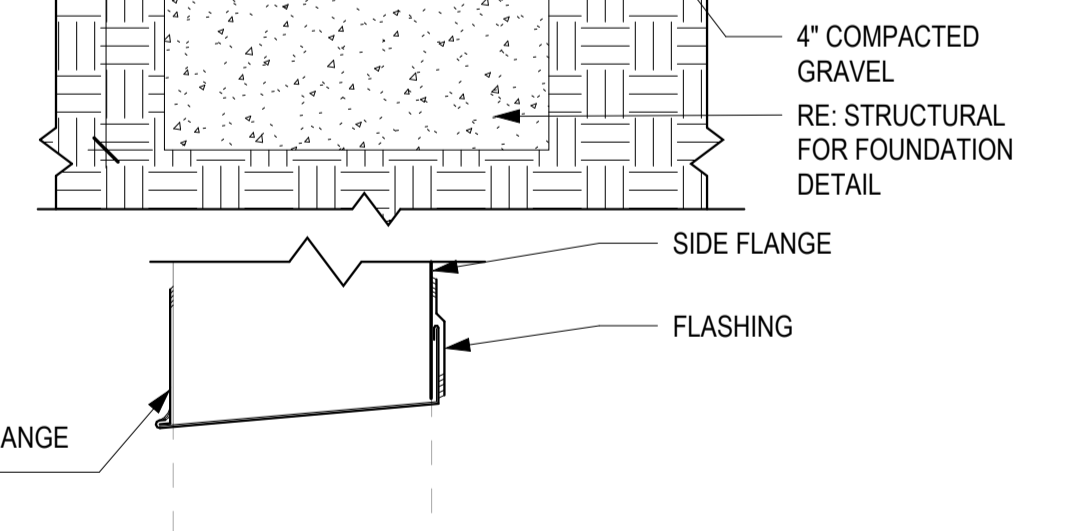
**14 Sill Detail**  
 3" = 1'-0" REFERENCING 13 / A5-00



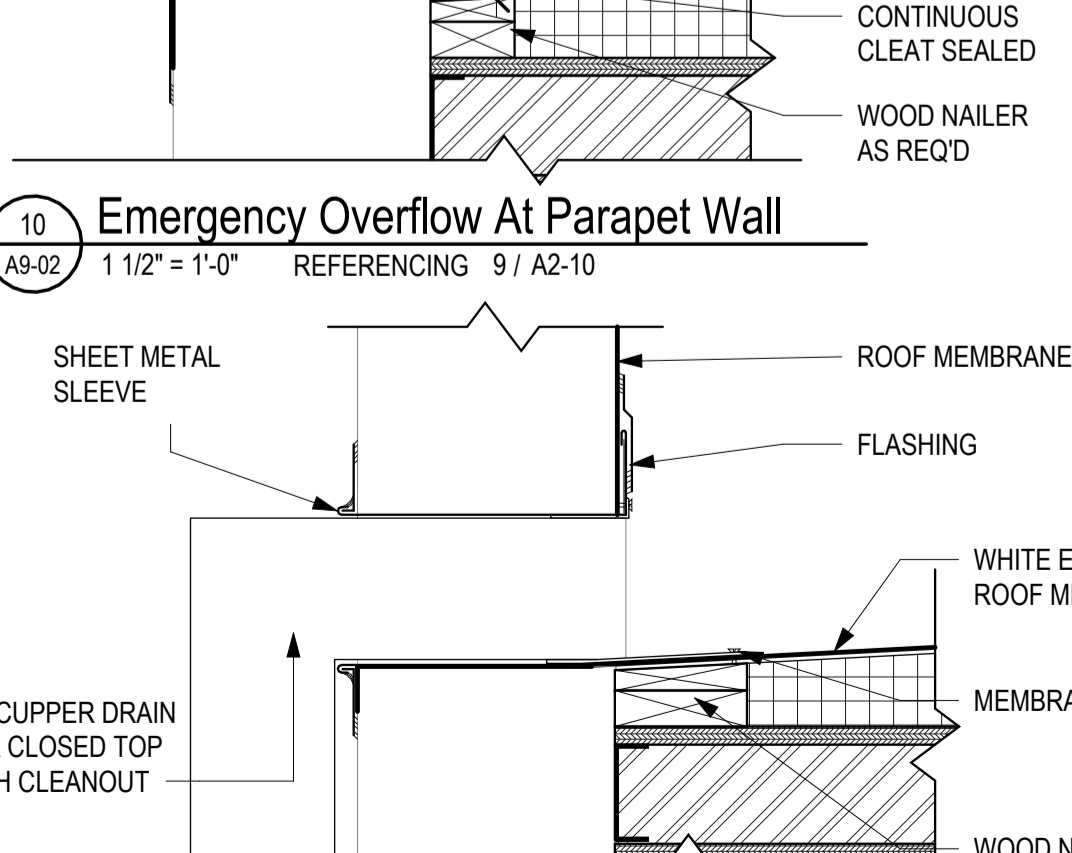
**13 Patio Enclosure Beam Detail**  
 3" = 1'-0" REFERENCING 11 / A9-02



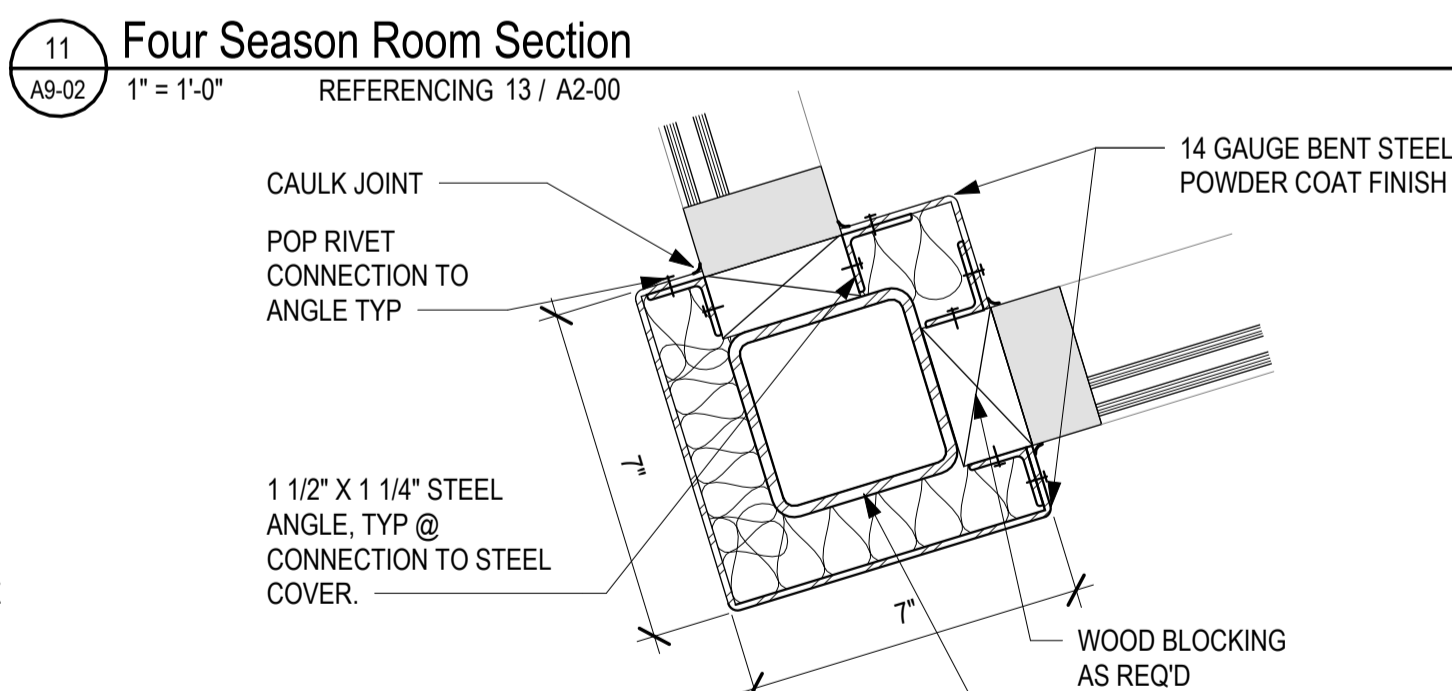
**11 Four Season Room Section**  
 1" = 1'-0" REFERENCING 13 / A2-00



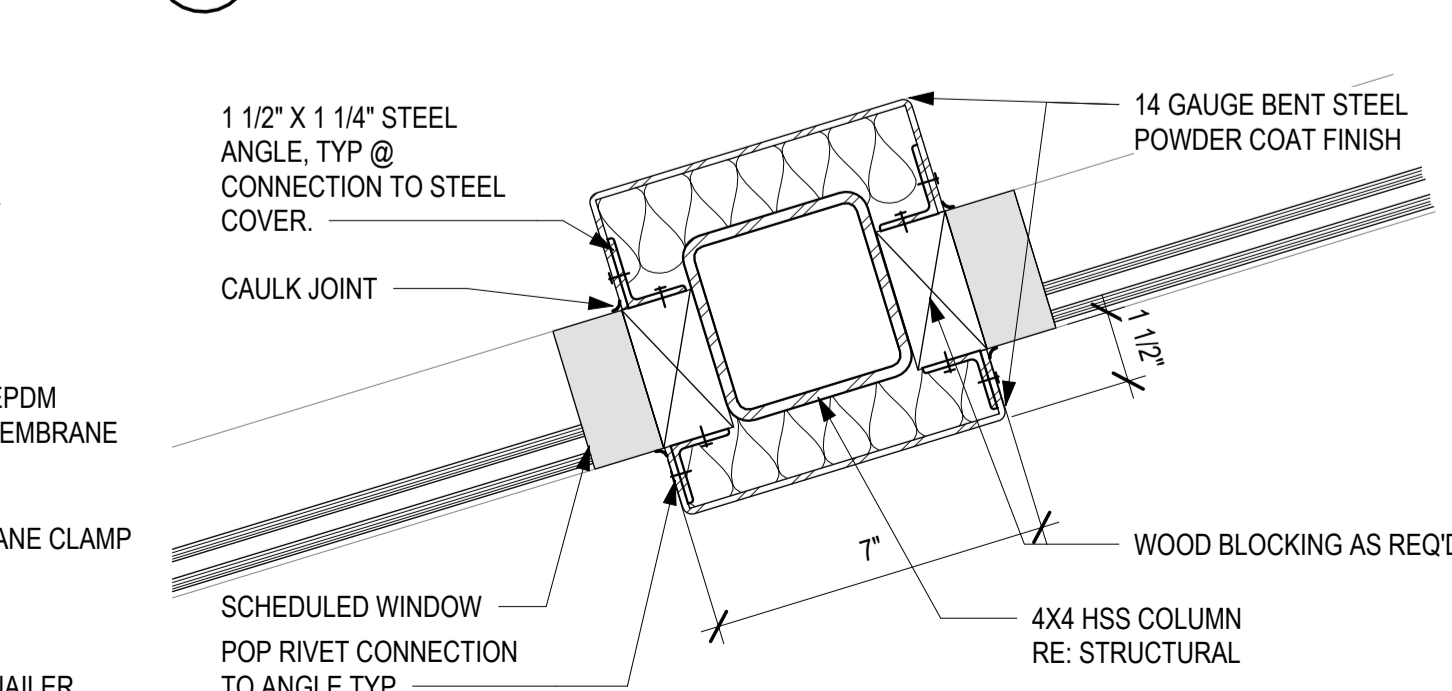
**10 Emergency Overflow At Parapet Wall**  
 1 1/2" = 1'-0" REFERENCING 9 / A2-10



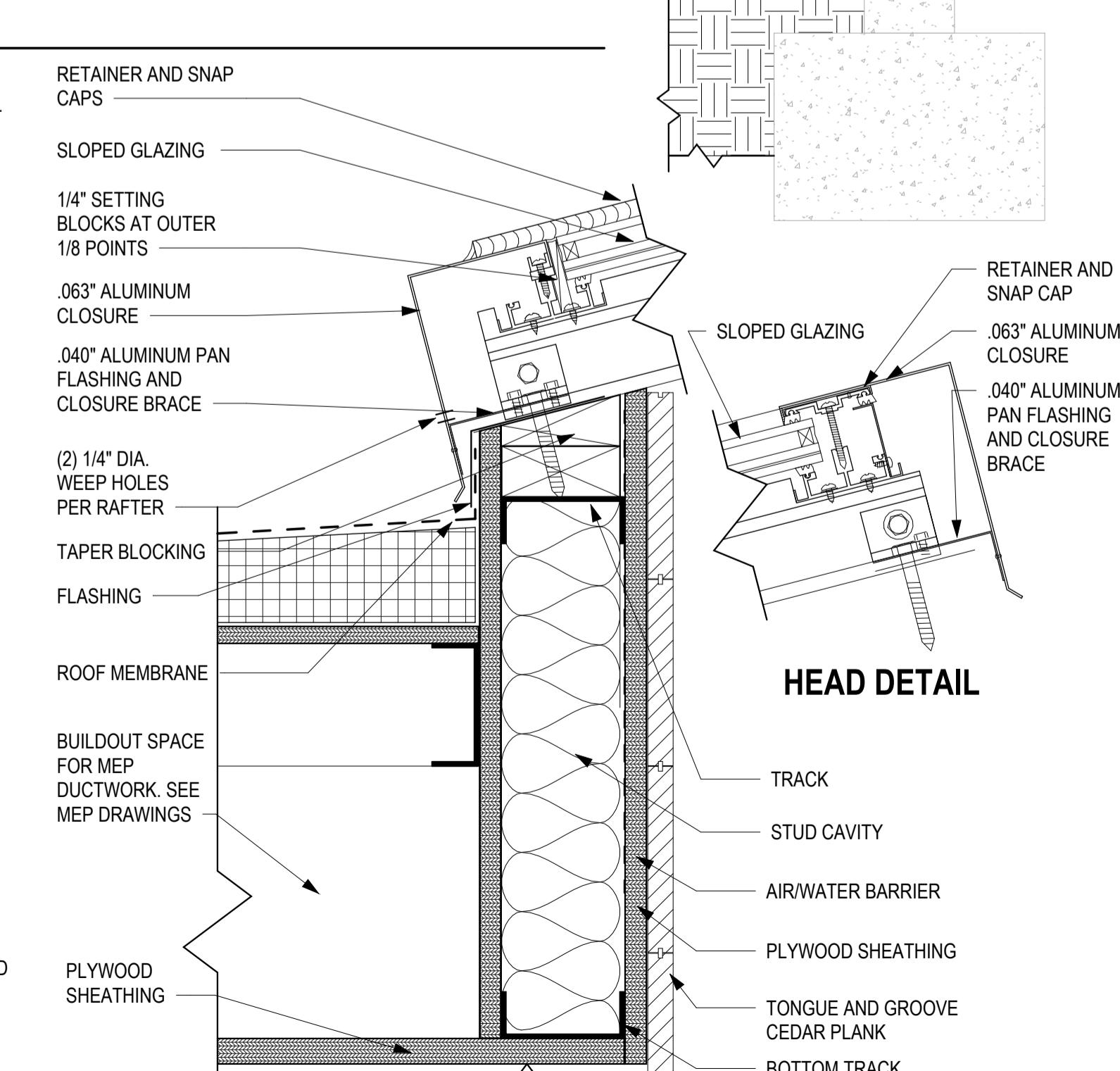
**9 Scupper Drain Detail**  
 1 1/2" = 1'-0" REFERENCING 9 / A2-10



**6 Column Furrot Corner**  
 3" = 1'-0" REFERENCING 13 / A2-00



**5 Column Furrot TYP**  
 3" = 1'-0" REFERENCING 13 / A2-00



**1 Skylight Detail**  
 3" = 1'-0" REFERENCING 11 / A9-02

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**SPACE**  
 ARCHITECTS DESIGNERS BUILDERS

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 314.534.2026 FAX  
 WWW.SPACESTL.COM  
 MISSOURI STATE CERT. OF AUTHORITY #LC0648752

STATE OF MISSOURI  
 THOMAS ALAN NIEMEIER  
 ARCHITECT  
 NUMBER A-2004029796  
 08.18.2023

TOM NIEMEIER - ARCHITECT  
 A-2004029796

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CONSTRUCTION DOCUMENTS: 2023.08.18

**TWIN OAKS**  
**BARTOLINO'S**

1304 BIG BEND RD. TWIN OAKS, MO 63021

REVISION SCHEDULE

NO.	DATE	REVISIONS

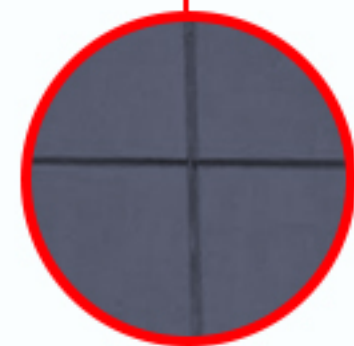
SHEET NO:  
**A9-02**  
 PATIO DETAILS

CONSTRUCTION DOCUMENTS  
 ISSUE DATE: 2023.08.18  
 PROJECT NO: 22-027

C:\Users\comicspace\Documents\Twin Oaks Central\_SemiCPU.rvt  
 8/18/2023 5:18:13 PM



EXISTING ALUMINUM  
STOREFRONT. NEW ADDITION  
WINDOWS TO MATCH EXISTING



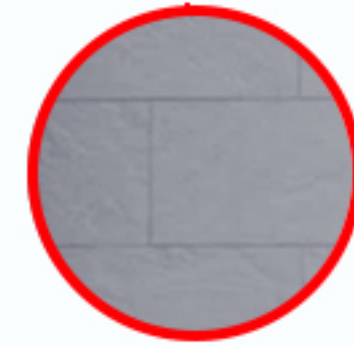
EXISTING EXTERIOR  
CLADDING



SMOOTH FINISH STUCCO  
PAINTED SW7020



NEW THUJA OCCIDENTALIS OR  
SIMILAR TO MATCH EXISTING  
LANDSCAPE VEGETATION



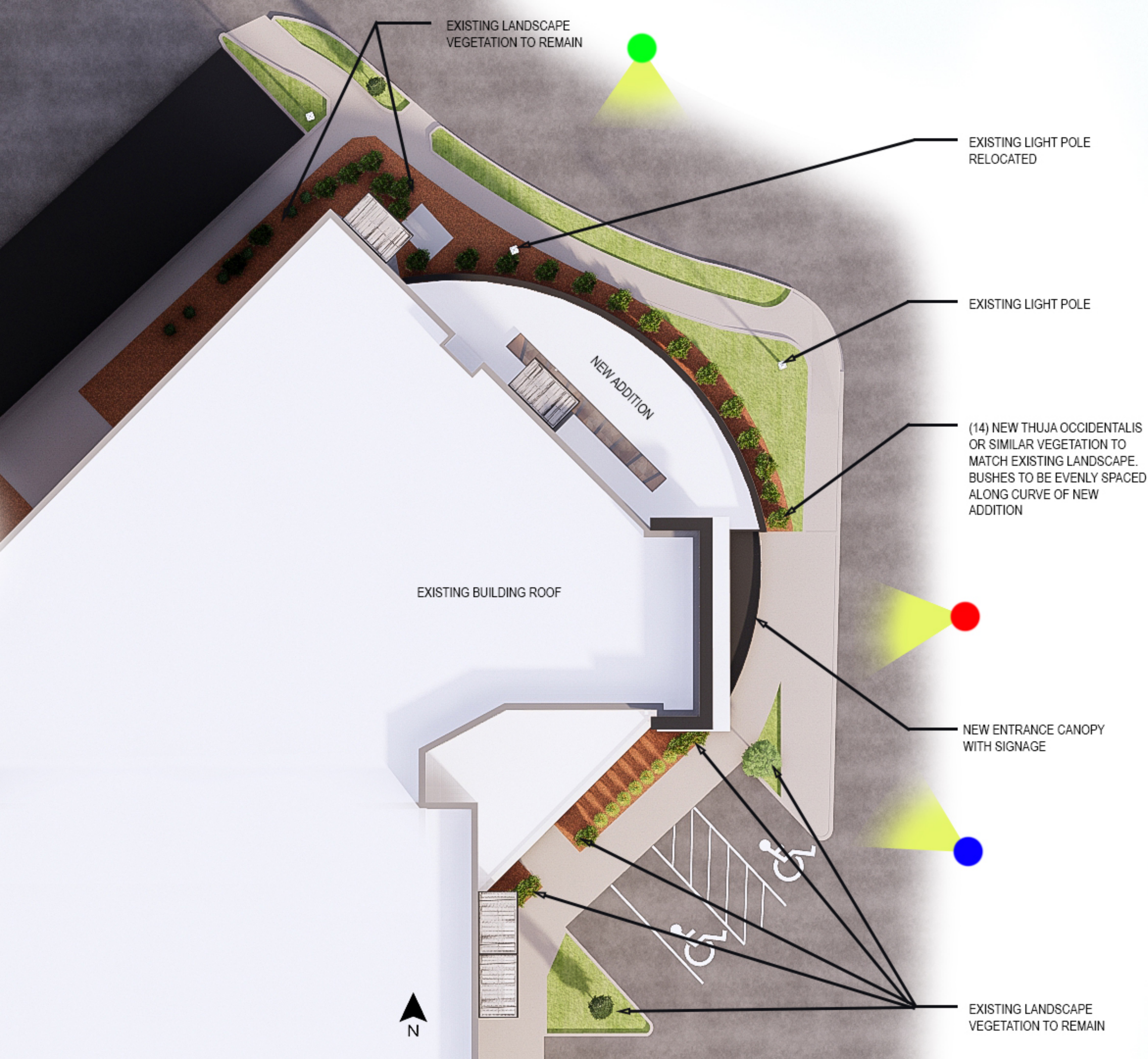
EXISTING EXTERIOR  
CLADDING



EXISTING EXTERIOR  
BRICK WALL



*Bartolino's*



ADDITION VIEW

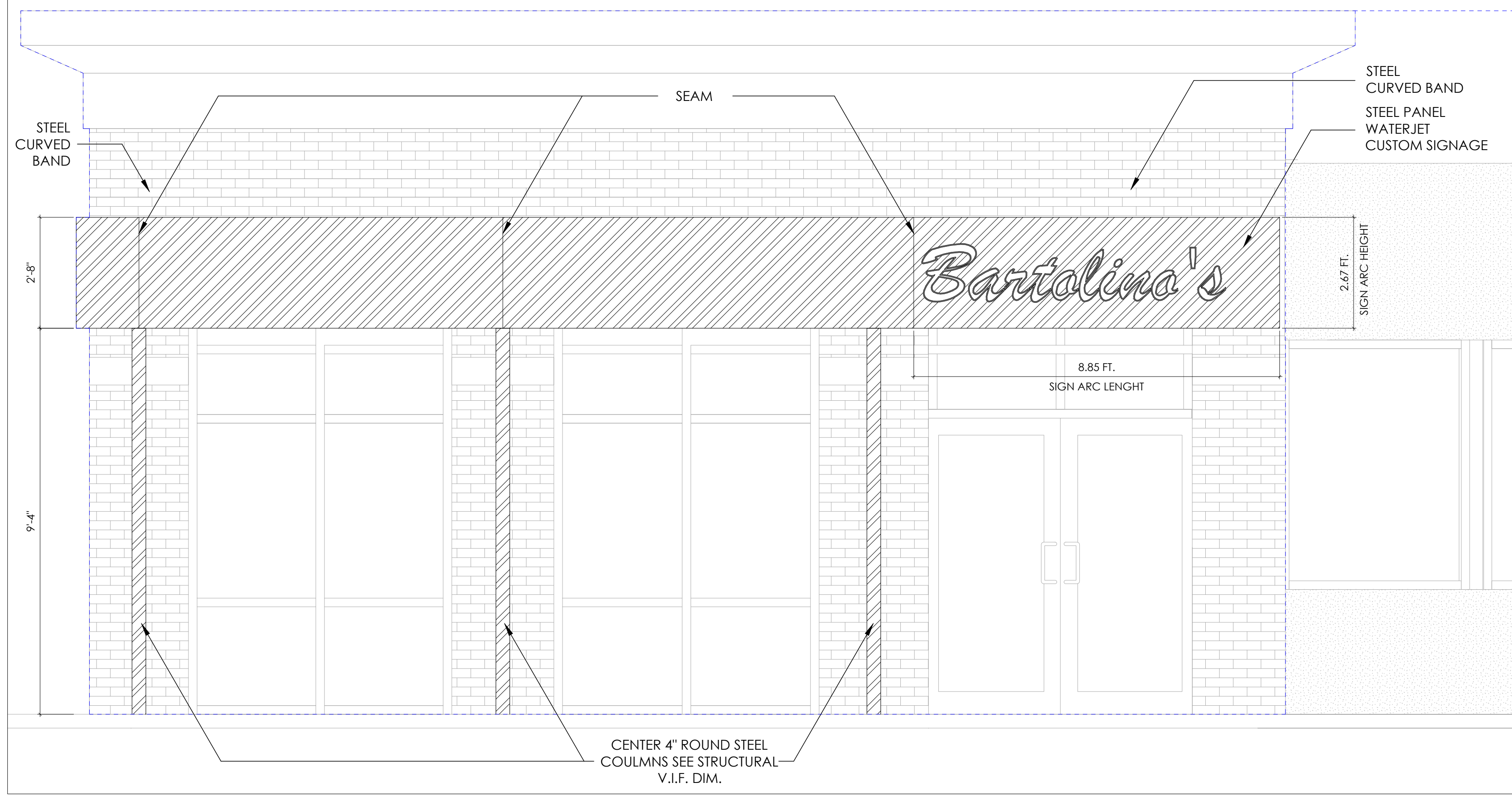


ENTRANCE VIEW



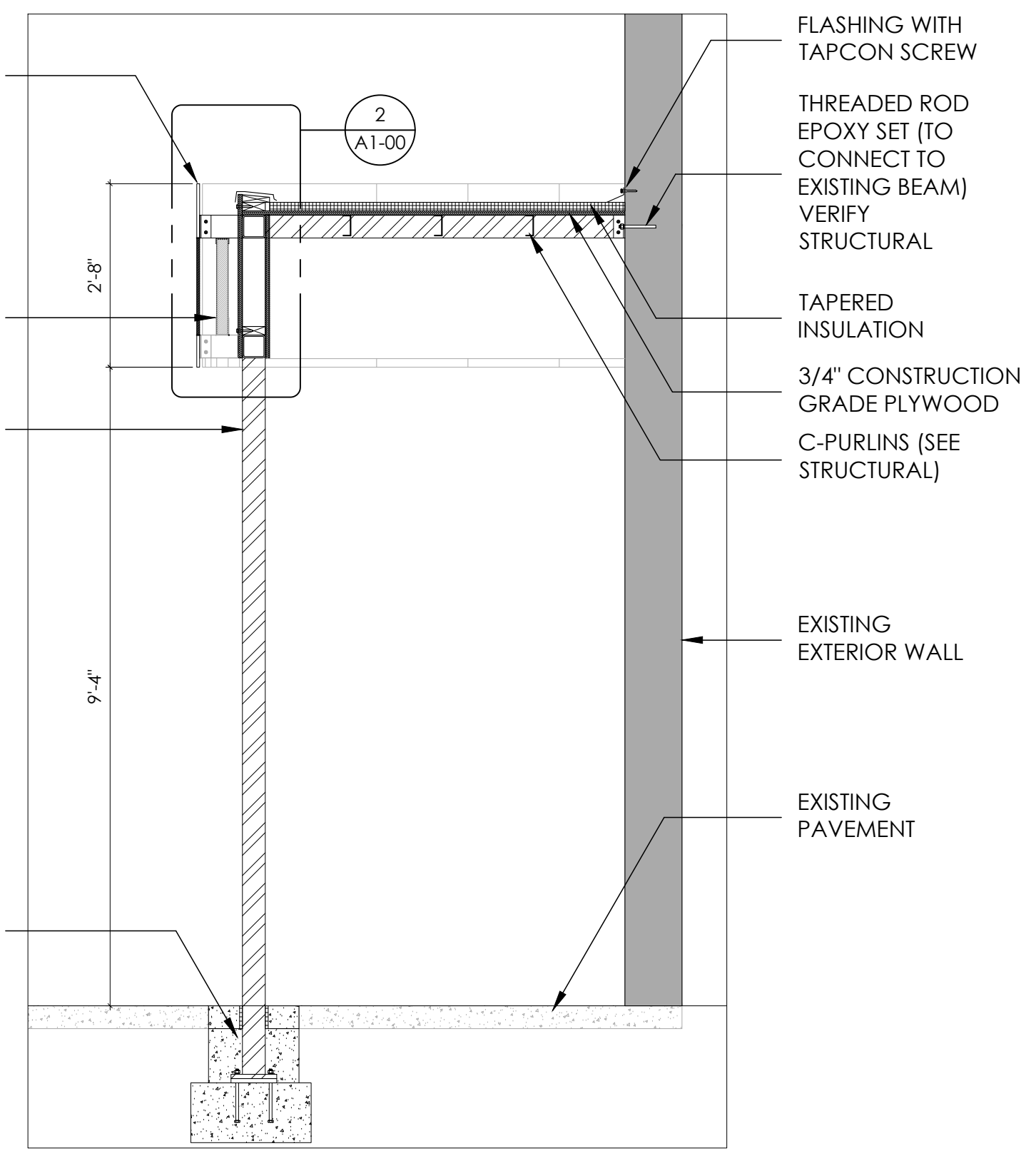
CANOPY VIEW



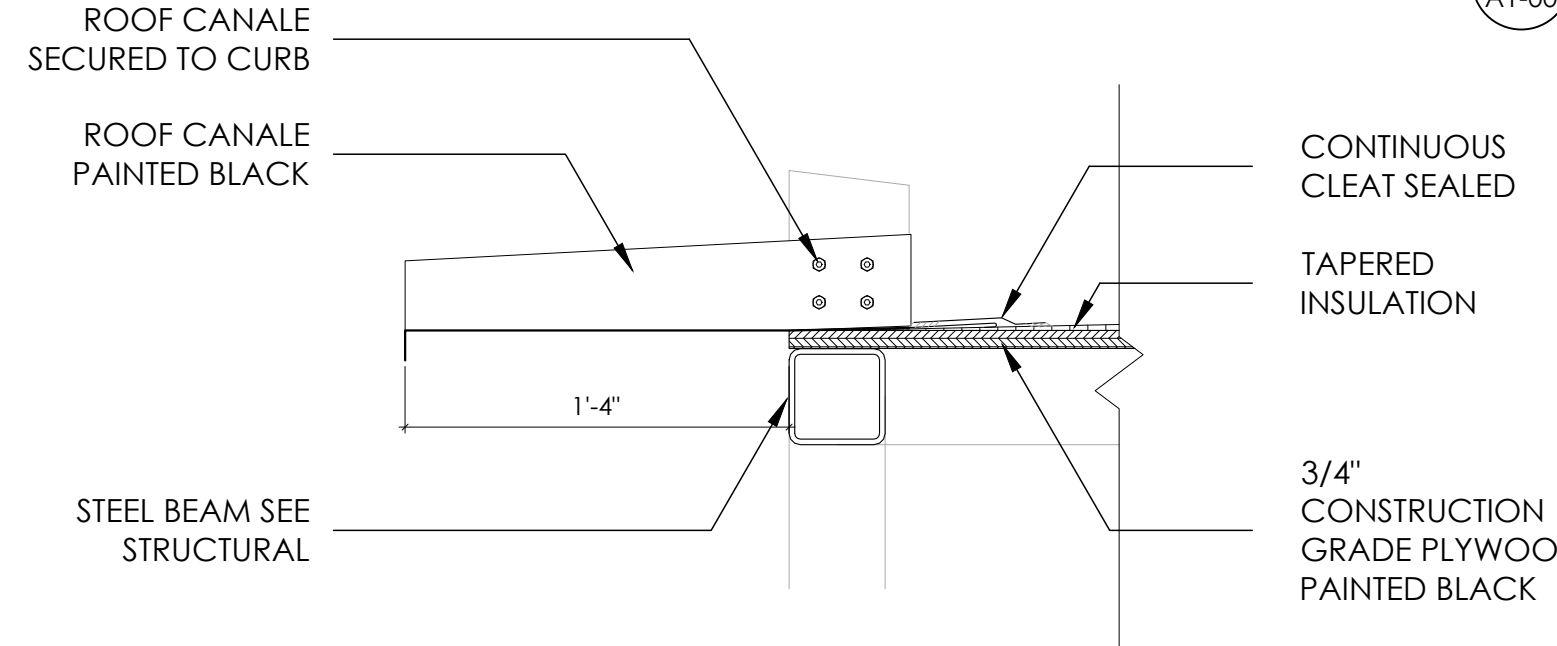


15 ENTRANCE ELEVATION  
A1-00 1/2" = 1'-0"

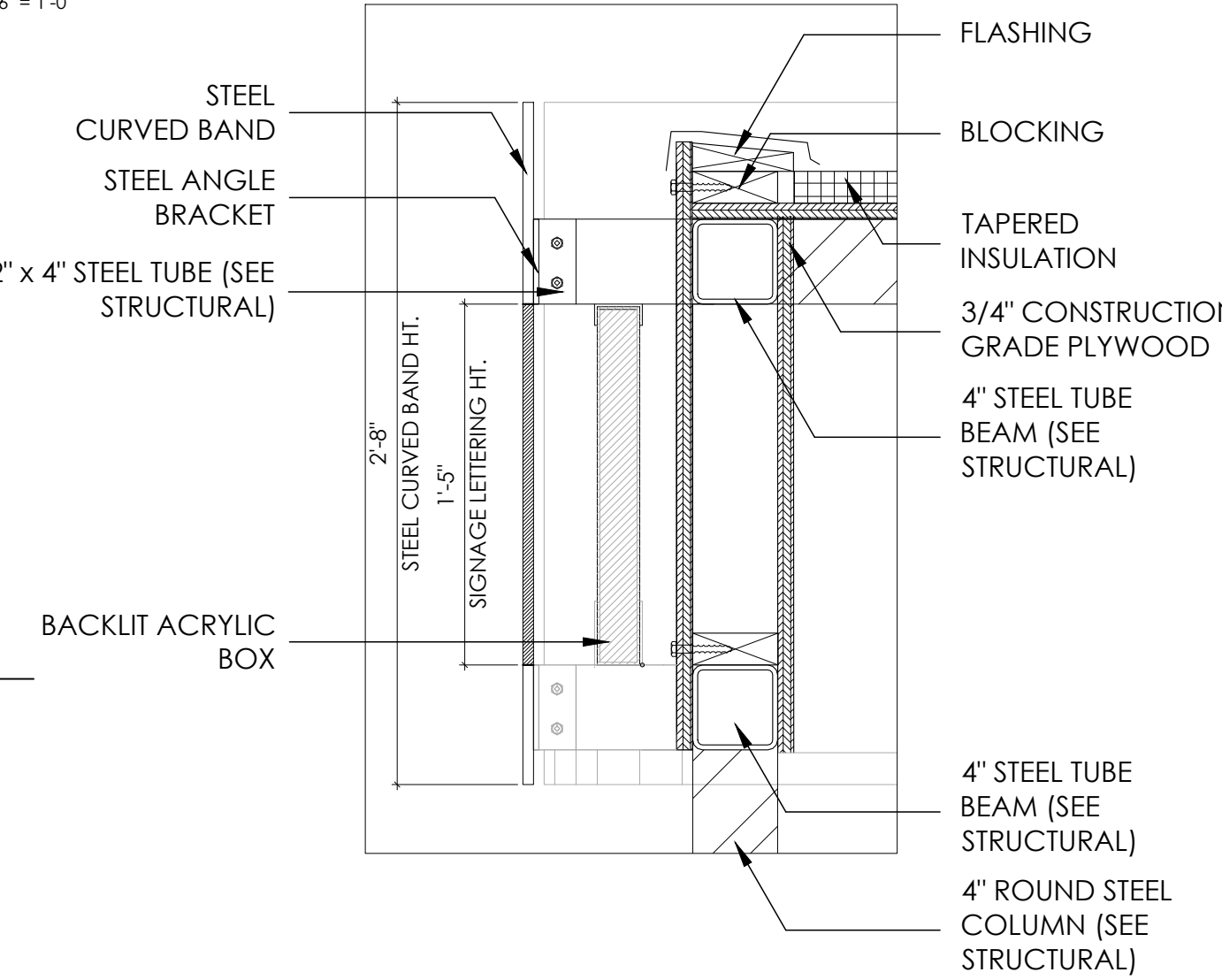
COMPUTATION:  
 SIGN LENGTH = 8.85 FT  
 SIGN HEIGHT = 2.67 FT  
 SIGNAGE AREA = 23.63 SQ FT  
 ENTRANCE ELEVATION AREA = 495.05 SQ FT  
 = 0.0477 or **4.77%**



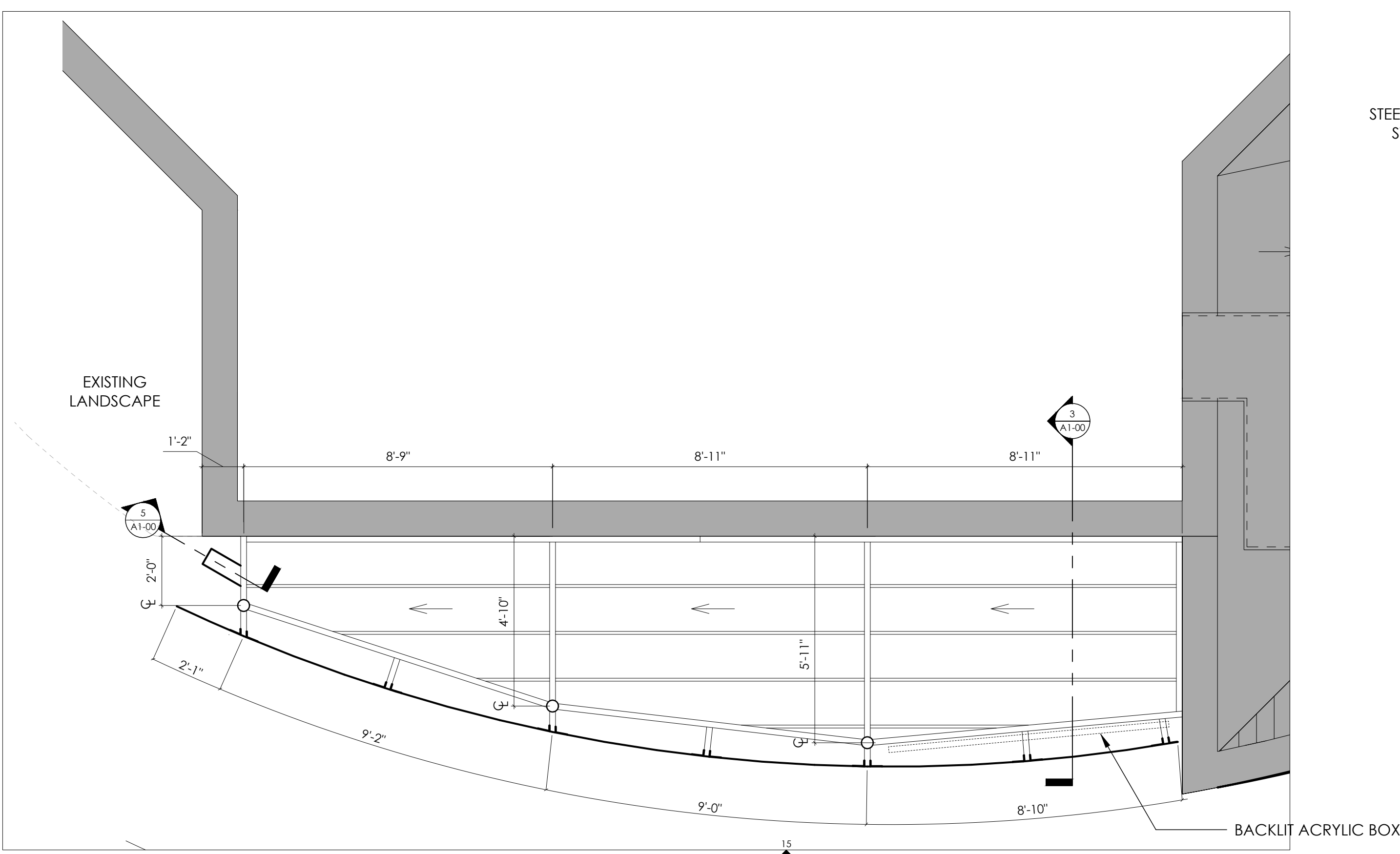
3 ENTRANCE COVER SECTION  
A1-00 3/16" = 1'-0"



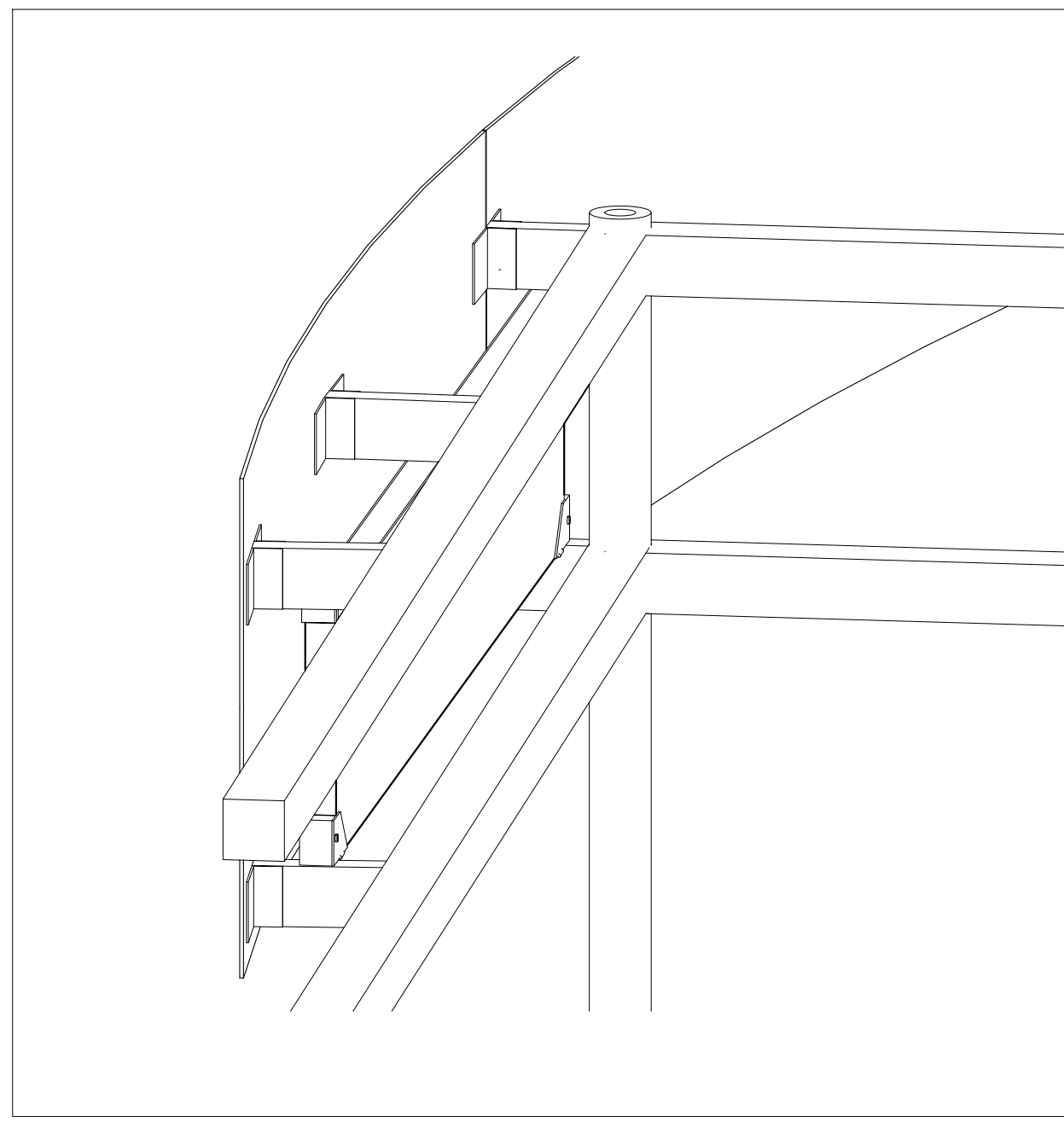
5 ROOF CANALE DRAINAGE DETAIL  
A1-00 3/16" = 1'-0"



2 BLOW-UP DETAIL 1  
A1-00 1 1/2" = 1'-0"



13 ROOF PLAN  
A1-00 3/8" = 1'-0"



4 CURVED BAND CONNECTIONS  
A1-00 NTS

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 4168 MANCHESTER  
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 314.534.4168 PHONE  
 314.534.2026 FAX  
 WWW.SPACESTL.COM  
 MISSOURI STATE CERT. OF AUTHORITY #LC0648752

TOM NIEMEIER - ARCHITECT  
 A-2004029796  
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PROJECT STATUS: PERMIT PHASE  
**EXTERIOR PATIO ENTRANCE**  
 TWIN OAKS BARTOLINO'S

1304 BIG BEND RD, TWIN OAKS, MO 63021

REVISION SCHEDULE		
NO.	DATE	REVISIONS

SHEET NO:  
**A1-00**  
 ROOF PLAN, ELEVATION,  
 SECTION AND DETAILS

ISSUE DATE:  
 PROJECT NO: 022-036



**AN ORDINANCE APPROVING TEXT AMENDMENT TO TO THE  
ZONING CODE OF THE CITY OF TWIN OAKS PERTAINING TO  
LIQUOR STORES**

WHEREAS, pursuant to § 400.550 of the Twin Oaks City Code, the Board of Aldermen may from time to time, on its own motion or on petition of the Planning and Zoning Commission, amend, supplement, change, modify or repeal by ordinance the regulations or districts herein or subsequently established after receiving the Planning and Zoning Commission’s recommendation and report; and

WHEREAS, the Board of Aldermen now seeks to amend Sections 400.080 and 400.280 of the Twin Oaks Zoning Regulations, Chapter 400 of the Municipal Code (hereinafter the “Zoning Code”) to allow liquor stores as a planned use in the “C” District of the City’s Zoning Code (the “Amendments”); and

WHEREAS, on September 26, 2023, the Planning and Zoning Commission recommended that the Board of Aldermen approve of the proposed Amendments; and

WHEREAS, the Board of Aldermen, after careful and due deliberation and following a duly noticed public hearing held on \_\_\_\_\_, 2023, in accordance with § 400.550 and § 89.060 RSMo., has concluded that the adoption of the proposed Amendments is in the best interests of health, safety, and welfare of the citizens of the City.

**NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF TWIN OAKS, MISSOURI, AS FOLLOWS:**

**Section 1.** Chapter 400 of the Twin Oaks Municipal Code, the Zoning Regulations, Section 400.080 (Definitions), is hereby amended by adding the definition “Liquor Store,” to read as follows:

**Section 400.080 Definitions.**

\* \* \*

**LIQUOR STORE**

An establishment or place of business primarily engaged in the retail sale of alcoholic beverages in the original package for consumption off the business property. This use shall not include restaurants that sell packaged alcoholic beverages as an accessory to the principal use.

**Section 2.** Section 400.280 “Use Regulations” of Article VII (“C” Commercial District Regulations) of Chapter 400 of the Twin Oaks Zoning Regulations, is hereby amended to add the use, Liquor Store, as a planned use in the “C” Commercial District as shown by the underlined text, as follows:

## Section 400.280 Use Regulations.

\* \* \*

### B. Planned Uses:

1. All uses designated as "planned uses" as set forth in this Subsection shall require the approval of a final development plan prior to the issuance of a building permit if they meet the criteria set forth in Section 400.340. The submission requirements, procedures and approval standards governing development plans are set forth in Section 400.340. Planned uses will be approved only if the Board of Aldermen, in its sole discretion, after review shall determine that the specific location and circumstances are appropriate for the use.
2. The following are planned uses in the "C" Commercial District, provided that a permanent building or premises shall be required for all permitted principal uses:
  - a. Appliance and furniture stores.
  - b. Banks.
  - c. Bowling alleys.
  - d. Business schools, dancing or music academies, cosmetology schools.
  - e. Computer sales and service stores.
  - f. Department stores.
  - g. Drug stores and pharmacies.
  - h. Food catering establishments.
  - i. Grocery stores and supermarkets.
  - j. Hardware stores.
  - k. **Liquor Stores**
  - l. Motor vehicle oriented businesses (MVOB).
  - m. Movie theaters
  - n. Office supply stores.
  - o. Pet shops.
  - p. Physical fitness centers.
  - q. Post offices.
  - r. Restaurants.
  - s. Shoe stores.
  - t. Sporting goods stores (new merchandise only).

**Section 3.** The recitals contained in the *Whereas* clauses are expressly incorporated in and made a part of this Ordinance.

**Section 4.** This Ordinance shall be in full force and effect on and after its passage and approval by the Mayor.

PASSED AFTER HAVING BEEN READ IN FULL OR BY TITLE TWO TIMES PRIOR TO PASSAGE BY THE BOARD OF ALDERMEN OF THE CITY OF TWIN OAKS, MISSOURI, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2023.

\_\_\_\_\_  
Russ Fortune, Mayor

Attest:

\_\_\_\_\_  
Frank Johnson, City Clerk/Administrator

Draft for P&Z Review