

**CITY OF TWIN OAKS  
BOARD OF ALDERMEN MEETING  
BOARD CHAMBERS, TWIN OAKS CITY HALL  
1381 BIG BEND ROAD  
WEDNESDAY, AUGUST 5, 2020, 7:00 p.m.**

To balance both the need for continuity of government and protection of the health and safety of our residents, business persons and employees, this meeting of the Board of Aldermen will be open to public attendance in person, providing that those who attend wear face coverings and maintain social distancing.

In addition, the meeting will also be livestreamed on Facebook so that the public may watch and listen to the meeting virtually. The livestream of the meeting will be accessible by tablet/laptop/PC or mobile device at [www.facebook.com/twinoaksmo](http://www.facebook.com/twinoaksmo).

The Board apologizes for any inconvenience these requirements may pose but it is extremely important all measures in compliance with the orders issued by public health authorities be taken to protect employees, residents, and elected officials during these extraordinary times.

Residents and others who wish to comment may also email their comments to City Clerk Frank Johnson, [fjohnson@cityoftwinoaks.com](mailto:fjohnson@cityoftwinoaks.com), by 6 p.m. on August 5, 2020, and their comments will be shared with the Board at the appropriate time.

**Tentative Agenda**

- 1) REGULAR MEETING CALLED TO ORDER
- 2) PLEDGE OF ALLEGIANCE
- 3) ROLL CALL
- 4) APPROVAL OF AGENDA
- 5) APPROVAL OF CONSENT AGENDA
  - a) Board of Aldermen Regular Session Minutes from July 15, 2020
  - b) Board of Aldermen Special Session Minutes from July 28, 2020
  - c) Bills List from July 11 to July 31, 2020
- 6) PUBLIC HEARING
  - a) Public comment on the recommendation of the Planning and Zoning Commission concerning approval with conditions of an application by Rossman Partners LLC for an amended final development plan submitted for the Big Bend Square Shopping Center known and numbered as 1310-1366 Big Bend Road in Twin Oaks.
- 7) STATE LEGISLATIVE UPDATE
  - a) State Rep. Trish Gunby
- 8) REPORT OF COMMITTEES/COMMISSIONS/CONTRACTORS
  - a) Police Report — Officer John Wehner

9) PRELIMINARY CITIZEN COMMENTS

10) UNFINISHED BUSINESS

- a) Resolution 20-20: A RESOLUTION OF THE TWIN OAKS BOARD OF ALDERMEN APPROVING AND AUTHORIZING THE MAYOR TO EXECUTE AN AGREEMENT WITH GERSTNER ELECTRIC, INC. FOR WORK ON BOLY LANE.

11) NEW BUSINESS

- a) Bill No. 20-09: AN ORDINANCE AMENDING CERTAIN SECTIONS OF CHAPTER 500 CODE OF THE CITY OF TWIN OAKS PERTAINING TO THE BUILDING CODE, RESIDENTIAL CODE, EXISTING BUILDING CODE, ELECTRICAL CODE, PLUMBING CODE, MECHANICAL CODE, AND PROPERTY MAINTENANCE CODE AND ENACTING A NEW SWIMMING POOL AND SPA CODE
- b) Resolution 20-21: A RESOLUTION OF THE TWIN OAKS BOARD OF ALDERMEN APPROVING AN AGREEMENT WITH STF, LLC DOING BUSINESS AS TRAFFIC CONTROL COMPANY FOR CERTAIN TRAFFIC STRIPING SERVICES ON MERAMEC STATION ROAD

12) DISCUSSION ITEMS

- a) Dunkin Donuts Development Plan  
b) City Hall Business Hours

13) ATTORNEY'S REPORT

14) CITY CLERK'S REPORT

15) MAYOR AND ALDERMEN COMMENTS

16) FINAL CITIZEN COMMENTS

(Remarks shall be limited to three (3) minutes on any one subject unless time is extended by the Board)

17) ADJOURNMENT

Frank Johnson  
City Clerk

POSTED: August 4, 2020, 2:00 p.m.

**Please note:** Any person requiring physical or verbal accommodations should contact the city office 12 hours prior to meeting at 636-225-7873. Copies of public records for this agenda are available for public inspection before and at the time of the meeting.

**MINUTES OF THE REGULAR MEETING OF THE  
BOARD OF ALDERMEN OF TWIN OAKS,  
TWIN OAKS TOWN HALL  
ST. LOUIS COUNTY, MISSOURI  
WEDNESDAY, JULY 15, 2020**

The meeting of the Twin Oaks Board of Aldermen was called to order at 7:00 pm. Roll Call was taken:

Mayor: Russ Fortune-yea

Aldermen: April Milne –yea  
Dennis Whitmore –yea

Lisa Eisenhauer – absent  
Tim Stoeckl – yea

Also Present: Frank Johnson, City Clerk  
Paul Rost, City Attorney-attended virtually  
Tiffany Campbell-BFA Engineering  
Ray Frankenberg-BFA Engineering

Permanent records are kept of all minutes and ordinances. Each ordinance is read a minimum of two times by title, unless otherwise noted.

**APPROVAL OF THE AGENDA**

Mayor Fortune asked if there were any changes to the agenda. Hearing none, Alderman Whitmore motioned to approve the Agenda, seconded by Alderman Milne. The motion passed by a voice vote.

**APPROVAL OF THE CONSENT AGENDA**

Mayor Fortune asked if there were any changes to the Consent Agenda consisting of the July 1, 2020 Regular Session Minutes, Bills List from June 27, 2020 to July 9, 2020 and the Credit Card List from May 18, 2020 to June 15, 2020. Alderman Stoeckl motioned to approve the Consent Agenda seconded by Alderman Milne. The motion passed by voice vote.

**REPORTS OF COMMITTEES/COMMISSIONS/CONTRACTORS**

**Park Report:** Cindy Slama, Park Chairman, stated that the next Park Committee meeting scheduled for August 13, 2020 has been cancelled. The Park Committee, at their last meeting, decided they are interested in the stone flat bridge at the base of the creek enhancement. They also discussed they would like to have the sand volleyball court

removed and have the area re-turfed for now. In the future they would like to relocate the sand volleyball court to another area in the Park.

Alderman Whitmore asked if the August concert was still scheduled. Ms. Slama said yes that it was scheduled for August 1<sup>st</sup>. The Committee had talked about having food trucks but the decision was made that anyone attending the concert should provide their own refreshments. Alderman Whitmore also asked about National Night Out. Ms. Slama said that this was not a Park event. Administrative Assistant Gonzales stated that the event was scheduled for August 4<sup>th</sup> from 6:00 p.m. to 8:00 p.m. in the Park. Cool Times ice cream truck will be on the basketball court during this time. Officer Wehner stated that he along with 3 other officers will be in the Park that evening.

Alderman Whitmore asked about the scheduling of Arbor Day. The office staff has not scheduled anything at this time. They are waiting to see what occurs with schools getting back in session. This may need to be postponed till Spring.

**June Financials:** Jeff Blume, Financial Consultant, reviewed the Financial Statements for June 2020 with the Board. Mr. Blume stated that at this time everything is looking good. The Board accepted the Financial Statements as submitted.

Mr. Blume reminded the Board of the balloon payment that will be coming due within the next seven years. He emphasized the need for the City to be planning for this payment now and not waiting to begin saving. He reminded the Board of the Sinking Fund that he had spoken about at a previous Board meeting. The City would contribute monthly to this fund so when the balloon payment is due the money for the payment is available. Mr. Blume stated that a bank will be more likely to refinance the remainder of what is owed on the loan for City Hall if the City has those funds saved. The City could then refinance the remaining balance on City Hall and allocate the money for another purpose.

Alderman Whitmore asked if the City could refinance now since interest rates are very low. Mr. Blume did not think that this would be possible, however this is something that can be checked into.

Mr. Blume stated that a Resolution should be prepared to establish the Sinking Fund the City will fund on a monthly basis.

**Compliance with City's Ordinance:** Mr. Blume reviewed the 6 Month Compliance statement with the Board. The statement will be published in compliance with the ordinance.

**Crescent Road Sidewalk Project:** Mayor Fortune briefly reviewed the sidewalk project on Crescent Avenue. Mayor Fortune introduced Tiffany Campbell and Ray Frankenberg of BFA Engineering. Ms. Campbell reviewed the preliminary plans for the project with the

Board. The proposed sidewalk would run along the north side of Crescent Avenue from Golden Oak Ct. to Crescent Road. The estimated cost of the project is \$100,000.00.

Alderman Milne asked about a retaining wall where the terrain slopes. Ms. Campbell stated that grading this area is more cost effective than to install a retaining wall. Mr. Frankenberg stated that the grading is more cost effective but will require maintenance over the years.

Mr. Frankenberg stated that with the installation of the sidewalks, curbing will need to be installed. With the installation of the curbing you are now channeling the water to another area and this will need to be accounted for. This also increases the cost of the project.

Mayor Fortune stated that the idea for a sidewalk along Crescent Avenue has been discussed since during the pandemic there has been an increase of pedestrians walking along the road going to Twin Oaks Park. He also stated that over the past few years the City has had other requests for sidewalks along Boly Lane and Autumn Leaf Drive. He suggested that now may be the time to create a comprehensive plan for sidewalks throughout the City. He feels it is important to get resident input and put the issue to a vote for a Bond issue to pay for the project. Alderman Milne felt it is important to do this project now due to the safety issue and would not want to see the project postponed.

Bob Dresner, a resident along Crescent Avenue, though he feels that safety is always a concern, is concerned the City is proposing spending a lot of money for a sidewalk that goes along just a few homes. He stated that since a majority of the pedestrians walking along Crescent Avenue are Valley Park residents he would like to see participation by Valley Park in this project.

Laurie DuVall, also a resident along Crescent Avenue, asked what other safety measures the City is taking along Crescent Avenue. She feels that speeding is a big concern as well as cars not making complete stops at the stop signs along the road. She felt that the sidewalks are more of a benefit for Valley Park residents than for Twin Oaks residents.

Karen Dresner, a resident along Crescent Avenue, applauded the Boards concern and awareness of the safety issues along Crescent Avenue. However, before the City would spend this amount of money for the sidewalk she would like the City to look into other safety measures which may help with the safety issue. She would also like to include everyone's input on this project. She feels that with the amount that would be spent the residents should be made aware and have the opportunity to voice their opinion.

City Clerk Johnson reminded the Board that this project was not included as a Capital Project in the 2020 Budget. This may be a project to consider for the 2021 Budget.

## PRELIMINARY CITIZEN COMMENTS

There were no preliminary citizen comment.

## COMMITTEE APPOINTMENTS

Mayor Fortune stated that he has finalized the appointments to various City Committees or Commissions. Jim Owens has agreed to another term on Board of Adjustment, Mary Lou Knox and Cindy Slama have also agreed to another term on the Park Committee.

## NEW BUSINESS

**Resolution 2020-19-A Resolution Of The Twin Oaks Board Of Aldermen Approving An Agreement Between The City Of Twin Oaks And Davey Tree Expert Company For Tree Removal In Twin Oaks Park:** Mayor Fortune asked for any questions concerning Resolution 2020-19. Mayor Fortune asked for a motion to approve Resolution 2020-19. Alderman Milne motioned to approve Resolution 2020-19, seconded by Alderman Whitmore. The motion passed by voice vote.

**Resolution 2020-20-A Resolution Of The Twin Oaks Board Of Aldermen Approving And Authorizing The Mayor To Execute An Agreement With Gerstner Electric, Inc. For Work On Boly Lane:** Mayor Fortune voiced a concern on the installation of the light at the Boly entrance. Alderman Milne motioned to table Resolution 2020-20, seconded by Alderman Whitmore. The motion passed by voice vote.

## DISCUSSION ITEMS

**Meramec Station Road Striping:** Mayor Fortune reviewed the Boards intentions along Meramec Station Road to promote safety for pedestrians. Mayor Fortune, Alderman Milne and John Williams, Public Works, met with Lee Cannon of CBB Engineering. His recommendation was to create a buffer zone for pedestrians along Meramec Station Road between Hardees and Crescent Avenue.

Mr. Frankenberg briefly reviewed several options which could enhance the safety for pedestrians along Meramec Station which are budget friendly.

**Board Appointments:** Mayor Fortune stated that he has been re-evaluating the Board Liaison positions. He has not been able to find any guidelines spelled out in the City code regarding the Board Liaison positions. He does feel that the liaison to the Board of Adjustment may pose a conflict of interest. Discussion ensued.

Attorney Rost stated that it is not required by law to have a Board member on the Board of Adjustment. However, on the Planning & Zoning Commission Alderman and the Mayor may be members of the Commission.

The Board decided to remove the liaison from the Board of Adjustment at this time.

### **ATTORNEY'S REPORT**

Attorney Rost stated he has been reviewing the plans submitted by Dunkin Donuts and Tiffany Campbell's review of the plans.

### **CITY CLERK'S REPORT**

#### **Project Updates**

##### **Meramec Station Road Striping**

- Mayor Russ Fortune, Alderman April Milne and Maintenance Supervisor John Williams met with Lee Cannon from CBB to discuss possible improvements to Meramec Station Road on Tuesday, July 10. The next steps for the project will be discussed at the Board of Aldermen meeting on July 15.

##### **Crescent Road Sidewalks, Phase One**

- BFA has completed the cost estimate and concept plan for the first phase of sidewalks along Crescent Road and will present the materials at the Board of Aldermen meeting on July 15.

##### **Dunkin Donuts Development Plan**

- The City received the development plan and application for the Dunkin Donuts in Big Bend Square on July 8. The plans have been sent to BFA Engineering and city attorney Paul Rost for their review and shared with the members of the board and the planning and zoning commission.
- The plans will be reviewed by the planning and zoning commission on July 28. The public hearing will be held during the Board of Aldermen meeting on August 5. Notice of the public hearing will be published in The Countian and posted at City Hall, on the City website and on Facebook.

##### **Golden Oak Court Lighting**

- The approved contract has been submitted to Bates Electric. They are currently working on getting the locates finished for utilities in the area before scheduling a start date for the project.

#### **Additional Notes**

- The sanitation of the bathrooms by JanPro began on Wednesday, July 8. No issues with the cleaning crews have been reported by maintenance staff.

- City staff reported an above-ground pool constructed without a permit at 62 Crescent Ave. to St. Louis County for code enforcement. The County has confirmed that they did not receive a permit for the work and will be issuing a violation. The property owner will have 30 days to obtain the proper permit and resolve the violation.
- A request for cleaning and clearing the storm sewers along Autumn Leaf was submitted to MSD on July 7. MSD has not given an estimated date for when the cleaning will occur.

**MAYOR AND ALDERMAN COMMENTS**

Alderman Milne was happy to see those that attended the meeting tonight. The Board agreed.

**FINAL CITIZEN COMMENTS**

There were no final citizen comments.

**ADJOURNMENT**

There being no further business, Alderman Stoeckl motioned to adjourn the regular meeting at 8:44 p.m., seconded by Alderman Whitmore and the motion passed with the unanimous consent of the Board of those present.

Drafted By: \_\_\_\_\_  
Theresa Gonzales,  
Administrative Assistant

Date of Approval: \_\_\_\_\_  
ATTEST:

\_\_\_\_\_  
Frank Johnson  
City Clerk

\_\_\_\_\_  
Russ Fortune,  
Mayor, Board of Aldermen



**MINUTES OF THE SPECIAL MEETING OF THE BOARD OF  
ALDERMEN OF TWIN OAKS,  
VIRTURAL MEETING  
ST. LOUIS COUNTY, MISSOURI  
WEDNESDAY, JULY 28, 2020**

The meeting of the Twin Oaks Board of Aldermen was called to order at 2:01 pm. Roll Call was taken:

Mayor: Russ Fortune-yea

Aldermen: April Milne –yea  
Dennis Whitmore –absent

Lisa Eisenhauer – yea  
Tim Stoeckl – yea

Also Present: Paul Rost, City Attorney  
Cindy Slama, Park Chairman

Permanent records are kept of all minutes and ordinances. Each ordinance is read a minimum of two times by title, unless otherwise noted.

**APPROVAL OF THE AGENDA**

Mayor Fortune stated he was amending the Agenda adding an update from Alderman Mine on the Meramec Station Road striping. Alderman Milne motioned to approve the amended Agenda, seconded by Alderman Eisenhauer. The motion passed by a voice vote.

**DISCUSSION ITEMS**

**August 1<sup>st</sup> Concert Management:** Mayor Fortune stated that he wanted to discuss management of the August 1<sup>st</sup> concert in light of the new St. Louis County restrictions. He stated that he would like to have someone at each entrance counting people as they arrive and once attendance reached 50 people no one else would be admitted to the event. Mayor Fortune stated he would like to hear what the Board’s opinion was regarding the concert. He did state that he had spoken with Alderman Whitmore and he was in favor of going ahead with the concert.

Alderman Milne stated that in a normal year we can have 50 people attending a concert in the Park and she is concerned that this year with limited events occurring in the Community we may have larger attendance than in years past. She feels that in light of the recent increase in cases in St. Louis County, the City should cancel the Concert.

Alderman Eisenhauer was in agreement. She does not feel this is a risk the City should take at this time. Also, turning people away and trying to control the numbers entering the Park could result in combative situations.

Alderman Stoeckl was in agreement as well. He feels this is a time we need to be concerned about the welfare of our residents as well as the Community. He will look forward to next year.

Cindy Slama, Park Chairman, stated she can see both sides however, feels that it is not worth taking a chance of the virus being spread.

Mayor Fortune stated that after hearing from the Alderman he is recommending cancelling the August 1<sup>st</sup> concert. The Board was in agreement.

The office will get the message out to the residents and the community that the concert has been cancelled. John Williams, Public Works will remove the signs from the neighborhoods.

Attorney Rost was in agreement with the Board decision. He stated that as a government body this was the only decision to make.

**Meramec Station Road Striping:** Alderman Milne stated that she along with Ray Frankenberg and Tiffany Campbell of BFA Engineering and a representative of Traffic Control met on Meramec Station Road concerning the striping along the west side of the road. Alderman Milne stated that it was a very positive meeting. Mr. Frankenberg had stated that this should not be a difficult project to do. She briefly reviewed the project with the Board. Mayor Fortune stated that the office had received the quote from Traffic Control. They will discuss this at the August 5<sup>th</sup> Board of Aldermen meeting.

### **ADJOURNMENT**

There being no further business, Alderman Eisenhauer motioned to adjourn the special meeting at 2:20 p.m., seconded by Alderman Milne and the motion passed with the unanimous consent of the Board of those present.

Drafted By: \_\_\_\_\_  
Theresa Gonzales,  
Administrative Assistant

Date of Approval: \_\_\_\_\_

ATTEST:

---

Frank Johnson  
City Clerk

---

Russ Fortune,  
Mayor, Board of Aldermen

City of Twin Oaks						
Bills and Applied Payments						
July 11, 2020- July 31, 2020						
Check No.		Invoice Date	Memo/Description	Invoice No.	Bill Amt	Check Amt
11662	Thomas Norton		Reimbursement of Sewer Lateral-1510 Birnamwood Trail Drive		\$3,993.00	\$3,993.00
11663	Alpha Graphics					
		7/13/2020	Drilled sheets for Board minutes and ordinances and resolutions	58825	\$174.68	\$174.68
11664	BFA Engineering					
		6/28/2020	Fire Station-scanned plan sheets and reviewed; Tcon with P. Rost; review plans and email	11604	\$328.75	
		6/28/2020	Schnuck/CVS-review plans and compose letter; review the Schnucks sign plan submittal; email letter; prepare UPS and return plans to Twin Oaks	11605	\$233.75	
		6/28/2020	regarding Meramec Station; email discuss Golden Oak lighting; Tcon with F. Johnson regarding Meramec Station, Golden Oaks and review file for right-of-way fee for Acquisition	11606	\$255.00	
		6/28/2020	Crescent Ave Sidewalks-work on CAD drawing; work on CAD drawing and cost estimate; work on cost estimate; Tcon with FJohnson re: cost estimate	11646	\$637.50	
		6/28/2020	Easement for Golden Oak lighting-searching for plats; discuss with SAB the area needed; review easement and email to F. Johnson; plat copies	11647	\$199.75	
		6/28/2020	Bike Lane Striping-Meramec Station-review area and work on exhibit; Tcon with F. Johnson regarding project-update exhibit	11607	\$297.50	\$1,952.25
11665	General Code	7/14/2020				
			Supplement #2		\$3,853.69	\$3,853.69
11666	Government Finance Officers	7/22/2020	Interpreting Local Govt. Financial Statement (ebook)	2970728	\$8.00	\$8.00
11667	Jan-Pro Cleaning Systems	7/8/2020	Comfort Station cleaning-7/6/2020 to 7/31/2020	86107	\$1,196.00	\$1,196.00
11668	Kennedy Brown		Park reservation reimbursement		\$150.00	\$150.00
11669	Lake Management	7/22/2020	Park Lake treatment-7/20/2020	17750	\$408.00	\$408.00
11670	Municipal League of Metro St. Louis	7/17/2020	Yearly membership dues-July 1, 2020 to June 30, 2021		\$376.00	\$376.00
11671	Nicholas Leinauer		Park reservation reimbursement		\$100.00	\$100.00
11672	Radarsign, LLC	7/14/2020	(4) batteries for radar signs	10944	\$1,226.00	\$1,226.00
11673	The Brain Mill	7/15/2020	Monitor stand and cable; lav. Mic and for Board Room and XLR for mic in Board Room floor	5382	\$242.89	\$242.89
11674	Newsmagazine Network	7/23/2020	Treasurer's Report published in 7-22-2020 issue	3419-R	\$660.00	\$660.00
11675	Traffic Control Company	7/23/2020	(4) Social Distance signs for Park	9693-IN	\$137.76	\$137.76
11676	John Williams		11 Apartment Inspections for July		\$825.00	\$825.00
11677	Alternative Rain	7/24/2020	Midseason inspection at Big Bend and 141 intersection	12029	\$120.00	\$120.00
11678	Judith Smith		Park reservation reimbursement-alcohol		\$100.00	\$100.00
11679	Kathy Kleine		Park reservation reimbursement-alcohol		\$100.00	\$100.00
11680	Vandevanter Engineering	7/6/2020	New waterfall pump for Twin Oaks Lake		\$13,527.00	\$13,527.00
Online	Ameren Missouri	7/7/2020	Monthly service for street lighting		\$609.12	\$609.12
Online	AT&T	7/6/2020	Monthly service for City Hall		\$97.16	\$97.16
Online	Verizon	7/5/2020	Monthly cell phone service		\$248.95	\$248.95
Online	Toshiba Financial	7/10/2020	Monthly lease on copy machine		\$206.00	\$206.00
Online	AT&T	7/7/2020	Monthly service at 50 Crescent Ave		\$83.73	\$83.73
Online	The Brain Mill	7/15/2020	Monthly Email and Phone service for City Hall	5382	\$862.00	\$862.00
Online	Missouri Lawyers Media	7/22/2020	Notice of Public Hearing-August 5, 2020	744768599	\$39.44	\$39.44
			Alderman			
			Alderman			



## CITY OF TWIN OAKS POLICE ACTIVITY REPORT July 2019

Radio CFS:	39
Self Initiated Assignments:	89
Police Reports Written:	4
Total Traffic Stops:	6

### Arrests:

Felony	0
Misdemeanor	0
Summons (Arrest Notification)	0

### Auto Accidents:

Injury	0
Non Injury	3

Locations: Big Bend and Meramec Station, Big Bend and MO 141, 1393 Big Bend Rd

Crimes Reported:	1 Domestic at 1300 Big Bend Rd
------------------	--------------------------------

Patrol Bicycle Program:	18.65 hours
-------------------------	-------------

## CALLS FOR SERVICE LEGEND

### Call Abbreviation

### Explanation

AANO	Auto Accident "No Injuries"
AARB	Auto Accident "Road Block"
AAINJ	Auto Accident "Injuries"
ADM	Administrative
ANCONF	Animal Confined
ASTINV	Assist an Invalid
ATSUI	Attempt Suicide
BGLARM	Burglar Alarm
BIKE	Bicycle Patrol
BUSCK	Business Check
CALL	Phone Call
CARE	Report Processing
CCONT	Citizen Contact
CIT	Crisis Intervention Team Deployment
CURFEW	Curfew Violation
DETECT	Detector Sounding
DOA	Death
DOMEST	Domestic Disturbance
DRUG	Drug Violation
DWI	Driving while Intoxicated
EXPAT	Extra Patrol
FALARM	Fire Alarm
FIRE	Fire Call
FPROP	Found Property
FTPAT	Foot Patrol
GARAGE	Open Garage door
INJURY	Accidental Injury
MAIN	Maintenance
MISJUV	Missing/Runaway Juvenile
MOTOR	Motorist Assist
MUNI	Muni Contract Patrol
PCR	Community Relations
RADAR	Traffic Enforcement Radar Assignment
SCNDRY	Secondary
SICK	Sick Case
SMOKE	Smoke Detector
STAT	Station Assignment
SUSVEH	Suspicious Vehilce
TRF	Traffic
VACCK	Vacation Check
VEHCON	Vehicle Conveyance
WRARST	Warrant Arrest

Comp. #	Nature	Received	Address	City	Zone	Car #/DSN
NONE	MUNI	07/01/20 00:53:53	84 TWO	TWO	5064	3703/4627
NONE	SICK	07/01/20 02:25:13	816 MERAMEC STATION RD	TWO	5064	3702/4278
NONE	ALRM	07/01/20 09:03:53	1391 BIG BEND RD	TWO	5064	6760/3554
NONE	EXPAT	07/01/20 11:26:15	1 TWIN OAKS CT	TWO	5064	6760/3554
NONE	TR	07/01/20 13:48:28	1423 AUTUMN LEAF DR	TWO	5064	6760/3554
NONE	SICK	07/01/20 14:03:17	816 MERAMEC STATION RD	TWO	5064	6760/3554
NONE	MUNI	07/01/20 16:36:20	84 TWO	TWO	5064	2703/4266
NONE	MUNI	07/01/20 21:08:38	84 TWO	TWO	5064	3703/4888
NONE	MUNI	07/01/20 22:21:43	84 TWO	TWO	5064	2703/4266
NONE	MUNI	07/02/20 04:27:00	84 TWO	TWO	5064	3703/4888
NONE	ANRUN	07/02/20 09:01:34	1381 BIG BEND RD	TWO	5064	6760/3554
NONE	SICK	07/02/20 09:55:08	816 MERAMEC STATION RD	TWO	5064	6760/3554
NONE	BIKE	07/02/20 10:34:00	1 TWIN OAKS CT	TWO	5064	6760/3554
NONE	MUNI	07/02/20 16:37:38	84 TWO	TWO	5064	2703/4266
NONE	TRF	07/02/20 20:59:31	MO141 HWY AND BIG BEND RD	TWO	5064	2701/4889
NONE	DIST	07/02/20 21:19:30	1393 BIG BEND RD	TWO	5064	3703/4666
NONE	BGALRM	07/02/20 22:04:33	1230 BIG BEND RD	TWO	5064	2702/4519
NONE	TRF	07/02/20 22:05:43	BIG BEND RD AND MO141 HWY	TWO	5064	2703/4266
NONE	MUNI	07/02/20 22:27:14	84 TWO	TWO	5064	2703/4266
NONE	SICK	07/03/20 00:21:28	816 MERAMEC STATION RD	TWO	5064	3702/4045
NONE	MUNI	07/03/20 00:30:25	84 TWO	TWO	5064	3703/4666
NONE	BIKE	07/03/20 10:06:01	1 TWIN OAKS CT	TWO	5064	6760/3554
NONE	DIST	07/03/20 10:58:00	BIG BEND RD AND MO141 HWY	TWO	5064	1703/3468
NONE	EXPAT	07/03/20 12:59:41	1 TWIN OAKS CT	TWO	5064	6760/3554
NONE	EXPAT	07/03/20 13:51:44	1144 MERAMEC STATION RD	TWO	5064	6760/3554
NONE	EXPAT	07/03/20 15:05:39	1 TWIN OAKS CT	TWO	5064	6760/3554
NONE	MUNI	07/03/20 19:00:46	84 TWO	TWO	5064	2703/4971
NONE	EDP	07/03/20 20:30:19	1393 BIG BEND RD	TWO	5064	2703/4971
NONE	MUNI	07/03/20 23:32:49	84 TWO	TWO	5064	2703/4971
NONE	MUNI	07/04/20 04:49:58	84 TWO	TWO	5064	3703/3168
NONE	BIKE	07/04/20 08:09:54	1 TWIN OAKS CT	TWO	5064	6760/3554
NONE	BIKE	07/04/20 11:10:22	1 TWIN OAKS CT	TWO	5064	6760/3554
NONE	BUSCK	07/04/20 14:36:11	B:1393 BIG BEND	TWO		2703/4971
NONE	EXPAT	07/04/20 15:25:36	1230 BIG BEND RD	TWO	5064	1703/4895
NONE	MUNI	07/04/20 16:57:40	84 TWO	TWO	5064	2703/4971

NONE	MUNI	07/04/20 23:01:39	84 TWO		TWO	5064	2703/4971
NONE	MUNI	07/05/20 01:50:17	84 TWO		TWO	5064	3703/3168
NONE	MUNI	07/05/20 05:13:35	84 TWO		TWO	5064	3703/3168
NONE	MUNI	07/05/20 06:42:07	84 TWO		TWO	5064	1703/4895
NONE	MUNI	07/05/20 11:33:54	84 TWO		TWO	5064	1703/4895
NONE	SOLIC	07/05/20 13:34:24	1391 BIG BEND RD		TWO	5064	2705/4587
NONE	EXPAT	07/05/20 15:34:57	1230 BIG BEND RD		TWO	5064	1703/4895
NONE	MUNI	07/05/20 18:14:54	84 TWO		TWO	5064	2703/4971
NONE	MUNI	07/05/20 23:03:02	84 TWO		TWO	5064	2703/4971
NONE	MUNI	07/06/20 01:55:42	84 TWO		TWO	5064	3703/4627
NONE	MUNI	07/06/20 03:41:52	84 TWO		TWO	5064	3703/4627
NONE	MUNI	07/06/20 07:46:11	84 TWO		TWO	5064	1703/4895
NONE	EXPAT	07/06/20 08:37:39	1230 BIG BEND RD		TWO	5064	1703/4895
NONE	MUNI	07/06/20 11:17:16	84 TWO		TWO	5064	1703/4895
NONE	EXPAT	07/06/20 14:44:01	1230 BIG BEND RD		TWO	5064	1703/4895
NONE	BUSCK	07/06/20 16:21:38	1393 BIG BEND RD		TWO	5064	2703/4971
NONE	MUNI	07/06/20 17:51:09	84 TWO		TWO	5064	2703/4971
NONE	BGALRM	07/06/20 21:02:46	1230 BIG BEND RD		TWO	5064	2703/4971
NONE	MUNI	07/06/20 22:58:47	84 TWO		TWO	5064	2703/4971
NONE	BGALRM	07/06/20 23:59:22	1356 BIG BEND RD		TWO	5064	3703/3168
NONE	MUNI	07/07/20 00:00:55	84 TWO		TWO	5064	3703/3168
NONE	MUNI	07/07/20 03:06:24	84 TWO		TWO	5064	3703/3168
NONE	BIKE	07/07/20 08:52:54	1 TWIN OAKS CT		TWO	5064	6760/3554
NONE	ADM	07/07/20 10:41:58	15340 MANCHESTER RD		UNI	5235	6760/3554
NONE	EXPAT	07/07/20 15:22:58	1 TWIN OAKS CT		TWO	5064	6760/3554
NONE	MUNI	07/07/20 16:43:55	84 TWO		TWO	5064	2703/4266
NONE	DOMEST	07/07/20 21:57:21	BIG BEND RD AND MO141 HWY		TWO	5064	2703/4266
NONE	MUNI	07/07/20 22:12:06	84 TWO		TWO	5064	2703/4266
NONE	MUNI	07/08/20 01:41:59	84 TWO		TWO	5064	3703/3168
NONE	PDIST	07/08/20 02:37:56	1300 BIG BEND RD		TWO	5064	3703/3168
NONE	MUNI	07/08/20 05:20:50	84 TWO		TWO	5064	3703/3168
NONE	SICK	07/08/20 07:52:49	1391 BIG BEND RD		TWO	5064	1703/3468
NONE	MUNI	07/08/20 11:44:13	84 TWO		TWO	5064	1703/3468
NONE	MUNI	07/08/20 12:06:56	84 TWO		TWO	5064	6741/2887
NONE	MUNI	07/08/20 15:06:48	84 TWO		TWO	5064	6742/3416
NONE	MUNI	07/08/20 16:37:01	84 TWO		TWO	5064	2703/4266



NONE	AAUTO	07/08/20 17:16:28	MO141 HWY AND BIG BEND RD	TWO	5064	2703/4266
NONE	TRHAZ	07/08/20 18:05:41	MO141 HWY AND BIG BEND RD	TWO	5064	2703/4266
NONE	FALRM	07/08/20 22:09:08	1391 BIG BEND RD	TWO	5064	3703/3168
NONE	MUNI	07/09/20 04:19:49	84 TWO	TWO	5064	3703/3168
NONE	MISC	07/09/20 09:22:41	BIG BEND RD AND MO141 HWY	UNI	5064	6760/3554
NONE	BIKE	07/09/20 09:53:16	1 TWIN OAKS CT	TWO	5064	6760/3554
NONE	ORD	07/09/20 10:15:17	1391 BIG BEND RD	TWO	5064	6760/3554
NONE	BIKE	07/09/20 10:18:42	1 TWIN OAKS CT	TWO	5064	6760/3554
NONE	ADM	07/09/20 12:46:29	232 VANCE RD	UNI	5051	6760/3554
NONE	MUNI	07/09/20 16:54:27	84 TWO	TWO	5064	2703/4266
NONE	BUSCK	07/09/20 17:53:27	1393 BIG BEND RD	TWO	5064	2708/3848
25665	AANO	07/09/20 18:28:17	BIG BEND RD AND MERAMEC STATION RD	TWO	5064	2703/4266
NONE	MUNI	07/09/20 22:24:36	84 TWO	TWO	5064	2703/4266
NONE	MUNI	07/10/20 04:14:21	84 TWO	TWO	5064	3703/3168
NONE	EXPAT	07/10/20 08:16:07	1230 BIG BEND RD	TWO	5064	1703/4895
NONE	BIKE	07/10/20 10:04:22	1 TWIN OAKS CT	TWO	5064	6760/3554
NONE	EXPAT	07/10/20 15:22:16	1 TWIN OAKS CT	TWO	5064	6760/3554
NONE	EXPAT	07/10/20 16:59:35	1393 BIG BEND RD	TWO	5064	2703/4971
NONE	MUNI	07/10/20 17:54:50	84 TWO	TWO	5064	2703/4971
NONE	MUNI	07/10/20 22:57:37	84 TWO	TWO	5064	2703/4971
NONE	MUNI	07/11/20 07:11:48	84 TWO	TWO	5064	1703/4895
NONE	MUNI	07/11/20 10:34:31	84 TWO	TWO	5064	1703/4895
NONE	EXPAT	07/11/20 12:28:26	1230 BIG BEND RD	TWO	5064	1703/4895
NONE	BUSCK	07/11/20 17:02:45	1393 BIG BEND RD	TWO	5064	2703/4971
NONE	MUNI	07/11/20 18:00:27	84 TWO	TWO	5064	2703/4971
NONE	MUNI	07/11/20 22:50:43	84 TWO	TWO	5064	2703/4971
NONE	MUNI	07/12/20 05:10:21	84 TWO	TWO	5064	3703/4627
NONE	MUNI	07/12/20 10:21:44	84 TWO	TWO	5064	1703/4895
NONE	MUNI	07/12/20 13:52:56	84 TWO	TWO	5064	1703/4895
NONE	EXPAT	07/12/20 14:59:38	1230 BIG BEND RD	TWO	5064	1703/4895
NONE	BUSCK	07/12/20 16:46:06	1393 BIG BEND RD	TWO	5064	2703/4971
NONE	BUSCK	07/12/20 16:49:00	1300 BIG BEND RD	TWO	5064	2703/4971
NONE	MUNI	07/12/20 18:24:11	84 TWO	TWO	5064	2703/4971
NONE	MUNI	07/13/20 01:08:20	84 TWO	TWO	5064	3703/4627
NONE	MUNI	07/13/20 03:59:08	84 TWO	TWO	5064	3703/4627
NONE	BIKE	07/13/20 09:50:04	1 TWIN OAKS CT	TWO	5064	6760/3554

NONE	CCONT	07/13/20 10:35:46	CRESCENT AVE AND GOLDEN OAK CT	TWO	5064	6760/3554
NONE	RADAR	07/13/20 11:34:25	1454 AUTUMN LEAF DR	TWO	5064	6760/3554
NONE	ADM	07/13/20 13:03:51	232 VANCE RD	UNI	5051	6760/3554
NONE	EXPAT	07/13/20 15:30:08	1 TWIN OAKS CT	TWO	5064	6760/3554
NONE	MUNI	07/13/20 17:25:23	84 TWO	TWO	5064	2703/4266
NONE	BUSCK	07/13/20 19:18:25	1393 BIG BEND RD	TWO	5064	2702/4519
NONE	MUNI	07/13/20 22:10:34	84 TWO	TWO	5064	2703/4266
NONE	TRHAZ	07/13/20 23:50:46	MO141 HWY AND BIG BEND RD	TWO	5064	
NONE	MUNI	07/14/20 01:55:25	84 TWO	TWO	5064	3703/3168
NONE	MUNI	07/14/20 01:56:11	84 TWO	TWO	5064	3703/3168
NONE	MUNI	07/14/20 05:12:16	84 TWO	TWO	5064	3703/3168
NONE	BIKE	07/14/20 08:58:59	1 TWIN OAKS CT	TWO	5064	6760/3554
NONE	RADAR	07/14/20 11:37:41	1454 AUTUMN LEAF DR	TWO	5064	6760/3554
NONE	EXPAT	07/14/20 14:06:45	1 TWIN OAKS CT	TWO	5064	6760/3554
NONE	EXPAT	07/14/20 15:40:37	1393 BIG BEND RD	TWO	5064	2703/4266
NONE	EXPAT	07/14/20 15:41:52	1391 BIG BEND RD	TWO	5064	2703/4266
NONE	MUNI	07/14/20 17:18:35	84 TWO	TWO	5064	2703/4266
NONE	MUNI	07/14/20 22:50:28	84 TWO	TWO	5064	2703/4266
NONE	MUNI	07/15/20 02:10:20	84 TWO	TWO	5064	3703/3168
NONE	MUNI	07/15/20 05:01:23	84 TWO	TWO	5064	3703/3168
NONE	BIKE	07/15/20 09:13:46	1 TWIN OAKS CT	TWO	5064	6760/3554
NONE	ADM	07/15/20 10:25:28	232 VANCE RD	UNI	5051	6760/3554
NONE	TRHAZ	07/15/20 12:05:20	BIG BEND RD AND MERAMEC STATION RD	TWO	5064	6760/3554
NONE	RADAR	07/15/20 12:43:00	1454 AUTUMN LEAF DR	TWO	5064	6760/3554
NONE	RADAR	07/15/20 13:17:06	1413 BOLD LN	TWO	5064	6760/3554
NONE	EXPAT	07/15/20 15:04:21	1230 BIG BEND RD	TWO	5064	1703/4895
NONE	FIRE	07/15/20 16:06:26	147 CRESCENT RD	TWO	5064	2703/4971
NONE	MUNI	07/15/20 18:29:47	84 TWO	TWO	5064	2703/4971
NONE	CCONT	07/15/20 21:00:48	1184 BIG BEND RD	TWO	5064	2703/4971
NONE	MUNI	07/15/20 22:59:07	84 TWO	TWO	5064	2703/4971
NONE	MUNI	07/16/20 01:03:16	84 TWO	TWO	5064	3703/3168
NONE	MUNI	07/16/20 03:58:42	84 TWO	TWO	5064	3703/3168
NONE	MUNI	07/16/20 06:56:49	84 TWO	TWO	5064	1703/4895
NONE	EXPAT	07/16/20 07:14:44	1230 BIG BEND RD	TWO	5064	1703/4895
NONE	RADAR	07/16/20 10:15:08	1419 BOLD LN	TWO	5064	6760/3554
NONE	BIKE	07/16/20 12:43:33	1 TWIN OAKS CT	TWO	5064	6760/3554

26587	AANO	07/16/20 13:29:00	BIG BEND RD AND JOHN RYAN LN	TWO	5070	6760/3554
NONE	EXPAT	07/16/20 15:33:07	1 TWIN OAKS CT	TWO	5064	6760/3554
NONE	CCONT	07/16/20 16:43:02	1381 BIG BEND RD	TWO	5064	2703/4971
NONE	EXPAT	07/16/20 17:08:15	1393 BIG BEND RD	TWO	5064	2703/4971
NONE	MUNI	07/16/20 18:24:38	84 TWO	TWO	5064	2703/4971
NONE	MUNI	07/16/20 23:05:05	84 TWO	TWO	5064	2703/4971
NONE	MUNI	07/16/20 23:55:13	84 TWO	TWO	5064	3703/4627
NONE	MUNI	07/17/20 04:30:05	84 TWO	TWO	5064	3702/4278
NONE	BIKE	07/17/20 09:00:23	1 TWIN OAKS CT	TWO	5064	6760/3554
NONE	RADAR	07/17/20 13:32:07	CRESCENT AVE AND CRESCENT AVE	V/AL	5064	6760/3554
NONE	CAA	07/17/20 15:13:21	1393 BIG BEND RD	TWO	5064	6760/3554
NONE	MUNI	07/17/20 17:08:32	84 TWO	TWO	5064	2703/3848
NONE	TRHAZ	07/17/20 18:21:53	BIG BEND RD AND MO141 HWY	TWO	5064	2703/3848
NONE	MUNI	07/17/20 22:43:44	84 TWO	TWO	5064	2703/3848
26799	DOMEST	07/18/20 00:00:35	1300 BIG BEND RD	TWO	5064	3706/4861
NONE	MUNI	07/18/20 00:51:29	84 TWO	TWO	5064	3703/4627
NONE	MUNI	07/18/20 05:10:30	84 TWO	TWO	5064	3703/4627
NONE	MUNI	07/18/20 07:33:27	84 TWO	TWO	5064	1703/3468
NONE	MUNI	07/18/20 11:02:25	84 TWO	TWO	5064	1706/3032
NONE	MUNI	07/18/20 12:02:39	84 TWO	TWO	5064	1701/4460
NONE	EXPAT	07/18/20 16:00:38	1393 BIG BEND RD	TWO	5064	2703/4266
NONE	EXPAT	07/18/20 16:01:56	1391 BIG BEND RD	TWO	5064	2703/4266
NONE	MUNI	07/18/20 17:34:28	84 TWO	TWO	5064	2703/4266
NONE	TRHAZ	07/18/20 17:47:13	BIG BEND RD AND MERAMEC STATION RD	TWO	5064	W6/
NONE	EXPAT	07/18/20 20:00:15	1391 BIG BEND RD	TWO	5064	2703/4266
NONE	MUNI	07/18/20 22:18:01	84 TWO	TWO	5064	2703/4266
NONE	MUNI	07/19/20 01:28:31	84 TWO	TWO	5064	3703/3168
NONE	MUNI	07/19/20 04:59:42	84 TWO	TWO	5064	3703/3168
NONE	MUNI	07/19/20 07:09:32	84 TWO	TWO	5064	1703/3468
NONE	MUNI	07/19/20 09:11:33	84 TWO	TWO	5064	1703/3468
NONE	MUNI	07/19/20 11:55:06	84 TWO	TWO	5064	1703/3468
NONE	MUNI	07/19/20 17:14:33	84 TWO	TWO	5064	2703/4266
NONE	MUNI	07/19/20 21:59:13	84 TWO	TWO	5064	2703/4266
NONE	MUNI	07/20/20 03:41:47	84 TWO	TWO	5064	3703/3168
NONE	MUNI	07/20/20 07:47:00	84 TWO	TWO	5064	1703/3468
NONE	MUNI	07/20/20 09:03:18	84 TWO	TWO	5064	1703/3468

NONE	HANGUP	07/20/20	13:47:51	1393 BIG BEND RD	TWO	5064	1702/4042
NONE	MUNI	07/20/20	14:02:19	84 TWO	TWO	5064	1702/4042
NONE	CWELF	07/20/20	14:45:23	1300 BIG BEND RD	TWO	5064	2703/4266
NONE	EXPAT	07/20/20	15:34:14	1393 BIG BEND RD	TWO	5064	2703/4266
NONE	EXPAT	07/20/20	15:35:15	1391 BIG BEND RD	TWO	5064	2703/4266
NONE	MUNI	07/20/20	18:48:46	84 TWO	TWO	5064	2703/4266
NONE	MUNI	07/21/20	04:13:43	84 TWO	TWO	5064	3703/3168
NONE	MUNI	07/21/20	05:09:06	84 TWO	TWO	5064	3703/3168
NONE	MUNI	07/21/20	12:47:31	84 TWO	TWO	5064	3703/4895
NONE	TRF	07/21/20	13:22:40	BIG BEND RD AND MO141 HWY	TWO	5064	1703/4895
NONE	MUNI	07/21/20	18:03:51	84 TWO	TWO	5064	H512/
NONE	CWELF	07/21/20	20:45:29	MO141 HWY AND BIG BEND RD	TWO	5064	2703/4971
NONE	MUNI	07/21/20	22:58:43	84 TWO	TWO	5064	3703/4627
NONE	MUNI	07/22/20	00:10:31	84 TWO	TWO	5064	2703/4971
NONE	TRHAZ	07/22/20	02:35:08	MO141 HWY AND BIG BEND RD	TWO	5064	3703/4627
NONE	MUNI	07/22/20	04:15:01	84 TWO	TWO	5064	3703/4627
NONE	EXPAT	07/22/20	08:05:28	1230 BIG BEND RD	TWO	5064	1703/4895
NONE	DIST	07/22/20	10:25:36	1300 BIG BEND RD	TWO	5064	1701/4402
NONE	MUNI	07/22/20	13:54:09	84 TWO	TWO	5064	1703/4895
NONE	BUSCK	07/22/20	17:14:07	1393 BIG BEND RD	TWO	5064	2703/4971
NONE	MUNI	07/22/20	19:24:10	84 TWO	TWO	5064	2703/4971
NONE	BUSCK	07/22/20	19:29:09	1312 BIG BEND RD	TWO	5064	2705/4586
NONE	MOTOR	07/22/20	21:04:55	MO141 HWY AND BIG BEND RD	TWO	5064	2703/4971
NONE	MUNI	07/23/20	01:12:29	84 TWO	TWO	5064	3703/4627
NONE	MUNI	07/23/20	07:34:21	84 TWO	TWO	5064	1703/4895
NONE	MUNI	07/23/20	11:59:41	84 TWO	TWO	5064	1703/4895
NONE	EXPAT	07/23/20	12:47:04	1230 BIG BEND RD	TWO	5064	1703/4895
NONE	MUNI	07/23/20	13:46:58	84 TWO	TWO	5064	6741/2887
NONE	EXPAT	07/23/20	16:22:24	1144 MERAMEC STATION RD	TWO	5064	2703/4971
NONE	TRF	07/23/20	18:31:54	BIG BEND RD AND MERAMEC STATION RD	TWO	5064	A138/
NONE	MUNI	07/23/20	18:40:24	84 TWO	TWO	5064	2703/4971
NONE	CAA	07/23/20	20:17:48	1393 BIG BEND RD	TWO	5064	2703/4971
NONE	MUNI	07/23/20	23:04:03	84 TWO	TWO	5064	2703/4971
NONE	BGALRM	07/24/20	05:25:02	1230 BIG BEND RD	TWO	5064	3701/4032
NONE	MUNI	07/24/20	07:33:37	84 TWO	TWO	5064	1703/3468
NONE	MUNI	07/24/20	09:12:23	84 TWO	TWO	5064	1703/3468

NONE	MUNI	07/24/20	10:55:36	84 TWO		TWO	5064	1703/3468
NONE	SICK	07/24/20	13:30:13	816 MERAMEC STATION RD		TWO	5064	1703/3468
NONE	INV	07/24/20	13:36:47	10 GOLDEN OAK CT		TWO	5064	6741/2887
NONE	SUSPER	07/24/20	14:11:46	830 MERAMEC STATION RD		TWO	5064	1702/4042
NONE	EXPAT	07/24/20	14:44:40	1144 MERAMEC STATION RD		TWO	5064	2703/4971
NONE	BUSCK	07/24/20	16:00:48	1393 BIG BEND RD		TWO	5064	2703/4971
NONE	MUNI	07/24/20	18:37:02	84 TWO		TWO	5064	2703/4971
NONE	AALS	07/24/20	21:56:56	1346 BIG BEND RD		TWO	5064	3703/3168
NONE	MUNI	07/25/20	02:21:54	84 TWO		TWO	5064	3703/3168
NONE	MUNI	07/25/20	05:02:14	84 TWO		TWO	5064	3703/3168
NONE	MUNI	07/25/20	07:20:59	84 TWO		TWO	5064	1703/3468
NONE	MUNI	07/25/20	08:51:06	84 TWO		TWO	5064	1703/3468
NONE	MUNI	07/25/20	10:46:01	84 TWO		TWO	5064	1703/3468
NONE	BGALRM	07/25/20	12:13:00	840 MERAMEC STATION RD		TWO	5064	1703/3468
NONE	MUNI	07/25/20	12:56:37	84 TWO		TWO	5064	1701/3032
NONE	HEART	07/25/20	13:18:18	1393 BIG BEND RD		TWO	5064	1703/3468
NONE	MUNI	07/25/20	17:11:03	84 TWO		TWO	5064	2703/4266
NONE	EXPAT	07/25/20	18:57:14	1300 BIG BEND RD		TWO	5064	2703/4266
NONE	EXPAT	07/25/20	18:59:43	1393 BIG BEND RD		TWO	5064	2703/4266
NONE	EXPAT	07/25/20	19:00:28	1391 BIG BEND RD		TWO	5064	2703/4266
NONE	MUNI	07/25/20	22:15:03	84 TWO		TWO	5064	2703/4266
NONE	DIST	07/25/20	23:03:32	1300 BIG BEND RD		TWO	5064	
NONE	DIST	07/25/20	23:06:03	1300 BIG BEND RD		TWO	5064	3703/3168
NONE	MUNI	07/26/20	00:11:46	84 TWO		TWO	5064	3703/3168
NONE	MUNI	07/26/20	04:49:37	84 TWO		TWO	5064	3703/3168
NONE	MUNI	07/26/20	07:06:38	84 TWO		TWO	5064	1703/3468
NONE	DPROP	07/26/20	08:27:38	1454 AUTUMN LEAF DR		TWO	5064	1703/3468
NONE	MUNI	07/26/20	08:42:24	84 TWO		TWO	5064	1703/3468
NONE	MUNI	07/26/20	10:12:47	84 TWO		TWO	5064	1703/3468
NONE	DIST	07/26/20	14:02:24	1300 BIG BEND RD		TWO	5064	1702/4042
NONE	MUNI	07/26/20	16:32:14	84 TWO		TWO	5064	2703/4266
NONE	BUSCK	07/26/20	21:04:01	1393 BIG BEND RD		TWO	5064	3702/4888
NONE	MUNI	07/26/20	21:58:50	84 TWO		TWO	5064	2703/4266
NONE	MUNI	07/27/20	01:36:22	84 TWO		TWO	5064	3703/4627
NONE	MUNI	07/27/20	04:22:46	84 TWO		TWO	5064	3703/4627
NONE	MUNI	07/27/20	06:57:42	84 TWO		TWO	5064	1703/4895

NONE	EXPAT	07/27/20 08:40:50	1230 BIG BEND RD	TWO	5064	1703/4895
NONE	MUNI	07/27/20 08:50:29	84 TWO	TWO	5064	1703/4895
NONE	HANGUP	07/27/20 12:07:20	1393 BIG BEND RD	TWO	5064	1703/4895
NONE	MUNI	07/27/20 12:21:57	84 TWO	TWO	5064	1703/4895
NONE	MUNI	07/27/20 15:04:32	84 TWO	TWO		6742/3416
NONE	BUSCK	07/27/20 15:40:21	1393 BIG BEND RD	TWO		2703/4971
NONE	EXPAT	07/27/20 20:45:07	1300 BIG BEND RD	TWO		2702/4889
NONE	MUNI	07/27/20 22:40:41	84 TWO	TWO		3703/4627
NONE	TRESI	07/28/20 01:49:58	1393 BIG BEND RD	TWO		3702/4278
NONE	MUNI	07/28/20 02:01:47	84 TWO	TWO		3702/4278
NONE	MUNI	07/28/20 08:16:40	84 TWO	TWO	5064	1703/3130
NONE	MUNI	07/28/20 12:40:15	84 TWO	TWO	5064	1703/3130
28177	AANO	07/28/20 14:34:28	1393 BIG BEND RD	TWO	5064	2703/4971
NONE	MUNI	07/28/20 17:56:16	84 TWO	TWO	5064	2703/4971
NONE	MUNI	07/28/20 23:07:47	84 TWO	TWO	5064	2703/4971
NONE	SUSVEH	07/28/20 23:40:28	1300 BIG BEND RD	TWO	5064	3703/4627
NONE	MUNI	07/29/20 01:55:14	84 TWO	TWO	5064	3703/4627
NONE	MUNI	07/29/20 04:39:07	84 TWO	TWO	5064	3703/4627
NONE	MUNI	07/29/20 06:07:26	84 TWO	TWO	5064	1703/3468
NONE	MUNI	07/29/20 07:53:17	84 TWO	TWO	5064	1703/3468
NONE	MUNI	07/29/20 10:26:06	84 TWO	TWO	5064	1703/3468
NONE	MUNI	07/29/20 17:54:11	84 TWO	TWO	5064	2703/4266
NONE	EXPAT	07/29/20 20:56:49	1393 BIG BEND RD	TWO	5064	2703/4266
NONE	EXPAT	07/29/20 20:57:48	1391 BIG BEND RD	TWO	5064	2703/4266
NONE	MUNI	07/29/20 22:18:26	84 TWO	TWO	5064	2703/4266
NONE	MUNI	07/30/20 01:51:48	84 TWO	TWO	5064	3703/3168
NONE	MUNI	07/30/20 05:03:54	84 TWO	TWO	5064	3703/3168
NONE	MUNI	07/30/20 07:46:39	84 TWO	TWO	5064	1703/3468
NONE	BUSCK	07/30/20 08:52:42	1393 BIG BEND RD	TWO	5064	7101/3368
NONE	EXPAT	07/30/20 09:06:05	1381 BIG BEND RD	TWO	5064	7101/3368
NONE	MUNI	07/30/20 09:14:05	84 TWO	TWO	5064	1703/3468
NONE	MUNI	07/30/20 11:34:52	84 TWO	TWO	5064	1703/3468
NONE	MUNI	07/30/20 17:22:25	84 TWO	TWO	5064	2703/4266
NONE	EXPAT	07/30/20 18:12:02	1393 BIG BEND RD	TWO	5064	2703/4266
NONE	EXPAT	07/30/20 18:13:05	1391 BIG BEND RD	TWO	5064	2703/4266
NONE	EXPAT	07/30/20 18:14:14	1300 BIG BEND RD	TWO	5064	2703/4266

NONE	MUNI	07/30/20 20:24:01	84 TWO	TWO	5064	2703/4266
NONE	MUNI	07/31/20 01:12:55	84 TWO	TWO	5064	3703/3168
NONE	EXPAT	07/31/20 02:52:46	1300 BIG BEND RD	TWO	5064	3703/3168

**A RESOLUTION APPROVING AND AUTHORIZING THE  
MAYOR TO EXECUTE AN AGREEMENT WITH  
GERSTNER ELECTRIC, INC. FOR WORK ON BOLY LANE.**

---

**WHEREAS**, in March 2019 the City sought formal proposals in response to its invitation for bids for the installation of certain decorative streetlight fixtures along Big Bend Road known as the “2019 Big Bend Road Lighting Project”; and,

**WHEREAS**, the proposal was awarded to and the City contracted with Gerstner Electric, Inc. (“Gerstner Electric”) for the 2019 Big Bend Road Lighting Project; and,

**WHEREAS**, based on the prior professional relationship established with Gerstner Electric, the City seeks to contract with Gerstner Electric to perform similar street lighting work to be completed in Big Bend at Boly Lane; and,

**WHEREAS**, Section 145.070.C of the Municipal Code, *Exception to the Purchase Policy*, allows the City to forego the conventional bidding process in various situations where it can be demonstrated that the City will receive the best value on a purchase; and,

**WHEREAS**, the Board, after giving its prior approval per Section 145.070.C does find that, because of the above, the City will receive the best value on a purchase through informal discussion and bargaining with Gerstner Electric rather than through the conventional bidding process.

**NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF TWIN OAKS, MISSOURI, AS FOLLOWS:**

**Section 1.** The Board of Aldermen hereby approves, and authorizes the Mayor to execute, the City-Contractor Agreement with Gerstner Electric, Inc., for street lighting work on Boly Lane at a price of \$9,049.00 (the “Agreement”) substantially in the form of the Agreement attached hereto as Exhibit 1 and incorporated herein by reference.

**Section 2.** This Resolution shall be effective upon its passage by the Board of Aldermen and execution by the Mayor.

THIS RESOLUTION WAS PASSED AND APPROVED THE 15<sup>th</sup> DAY OF JULY 2020, BY THE BOARD OF ALDERMEN OF THE CITY OF TWIN OAKS, MISSOURI.

---

Russ Fortune, Mayor

Attest:

---

Frank Johnson, City Clerk



## **Exhibit 1**

**Twin Oaks, Missouri**  
**CONTRACTOR SERVICES CONTRACT**

THIS AGREEMENT, made and effective as of July \_\_\_\_\_, 2020, by and between the **City of Twin Oaks, Missouri**, a municipal corporation hereinafter referred to as the "City," and **Gerstner Electric, Inc.**, a Missouri corporation, hereinafter collectively referred to as "Contractor," with a business mailing address of 2400 Cassens Drive, Fenton, Missouri 63026.

WHEREAS, the Contractor provided the City with the proposal, attached hereto as **Exhibit A** and incorporated herein by reference, for certain services relating to streetlight installation (the "Proposal"), and the City wishes to engage the Contractor as provider of those services to the City, in accordance with the terms of this Agreement;

WITNESSETH: That the parties hereto for the considerations hereinafter set forth agree as follows:

**I. SCOPE OF SERVICES**

Contractor's services are necessary for the following Services of City: *Twin Oaks – Boly Lane Street Lighting*

Except as expressly specified herein, Contractor hereby agrees to provide the expertise, supplies, supervision, labor, skill, materials, equipment, and apparatus to perform all the services and do all the things necessary for the proper completion of the scope of services for the Services, which is generally described as the installation of a decorative streetlight, as set out more fully in **Exhibit A**.

The above-referenced services (hereinafter referred to as the "Services") shall be provided by the Contractor in accordance with all the provisions of the Proposal and the attached **Twin Oaks General Conditions** which are incorporated herein by reference, and the terms of the General Conditions shall prevail over any conflicting terms that may otherwise be adopted herein as part of any attachment, including the Proposal. If there is any conflict between the City's General Conditions (attached hereto and incorporated herein by reference) and the Proposal, this Agreement and its General Conditions shall prevail.

**II. COMPENSATION**

**A. Basic Compensation.** The City hereby agrees to pay the Contractor up to \$9,049.00, as set forth in the Proposal, as full compensation for the complete and satisfactory performance of the Services, including all expenses and costs related thereto, as follows:

Due at the City's final acceptance of the Services:	\$9,049.00
---	------------

**III. TIME AND MANNER OF PAYMENTS**

All invoices complete with necessary support documentation shall be submitted to the City and payment shall be made by City within thirty (30) days of receipt of an invoice received after satisfactory performance of the Services for the fees, prices, rates, or schedule of values set forth below.

**IV. CONTRACT SCHEDULE**

Time is of the essence. The Services shall be commenced by \_\_\_\_\_, 2020 and completed by \_\_\_\_\_, 2020. Failure to complete the Services as provided herein shall be a material breach of the contract.

IN WITNESS WHEREOF, the parties hereto have signed this Agreement as of the effective date of Contract first above written.

**GERSTNER ELECTRIC, INC.**

**CITY OF TWIN OAKS**

By \_\_\_\_\_

By \_\_\_\_\_

Title \_\_\_\_\_

Title \_\_\_\_\_

DATED: \_\_\_\_\_

DATED: \_\_\_\_\_

ATTEST: \_\_\_\_\_

City Clerk

**GENERAL CONDITIONS  
CITY OF TWIN OAKS, MISSOURI  
CONTRACTOR SERVICES AGREEMENT**

**Independent Contractor.** The Contractor shall be and operate as an independent contractor in the performance of this Contract. The Contractor shall have complete charge of the personnel engaged in the performance of the Work, and all persons employed by the Contractor shall be employees of said Contractor and not employees of the City in any respect.

**Compliance with Laws.** The Contractor shall comply with all applicable City ordinances and other laws and regulations, Federal, State, and any political subdivision thereof, including but not limited to, unemployment and workers' compensation, occupational safety, equal employment and affirmative action and wage and price laws insofar as applicable to the performance of the Contract. Specifically, Contractor shall comply with the following state law requirements:

- *Work Authorization Program.* If the Contract is for services expected to cost more than \$5,000.00, the Contractor shall comply with Section 285.530 RSMo., pertaining to enrollment and participation in a federal work authorization program (as defined therein) and shall provide verification through an affidavit (attached as **Exhibit B**) that the Contractor (1) does not knowingly employ any person who is an unauthorized alien in connection with the Contract and (2) is enrolled in a federal work authorization program and provide documentary proof thereof. The affidavit shall contain the notarized signature of the registered agent, legal representative or corporate officer of the business entity including but not limited to the human resources director or their equivalent.
- *Proof of Lawful Presence.* Section 208.009 RSMo., requires that all applicants *at the time of application* for any contract provided by a local government provide "affirmative proof that the applicant is a citizen or a permanent resident of the United States or is lawfully present in the United States." Contractor's affirmative proof must be established through (i) a Missouri driver's license, (ii) any "documentary evidence recognized by the department of revenue when processing an application for a driver's license," or (iii) "any document issued by the federal government that confirms an alien's lawful presence in the United States." §208.009.3.
- Contractor further agrees to pay not less than the prevailing hourly wage of wages set out on the wage order attached hereto as **Exhibit C** (if applicable) and made part of the specification for Work under this Agreement, to all workers performing any work under this Contract. The Contractor will forfeit a penalty to the City of \$100 per day for each worker that is paid less than the prevailing rate for any Work done under the contract by the Contractor.

**Subcontracts.** The Contractor shall not subcontract any of the Work to be performed by it hereunder without the express written consent of the City. In addition, this Contract shall not be assigned by the Contractor.

**Indemnification.** To the fullest extent permitted by law, the Contractor agrees to defend with counsel selected by the City, and indemnify and hold harmless the City, its officers, engineers, representatives, agents and employees from and against any and all liabilities, damages, losses, claims or suits, including costs and attorneys' fees, for or on account of any kind of injury to person, bodily or otherwise, or death, or damage to or destruction of property, or any other circumstances, sustained by the City or others, arising from Contractor's breach of the Contract or out of services and operations performed hereunder by the Contractor, including the City's reliance on or use of the services or products provided by the Contractor under the terms of this agreement. The Contractor shall not be liable for any loss or damage attributable solely to the negligence of the City. To the extent required by law to enforce this provision, Contractor agrees that this indemnification requires Contractor to obtain insurance in amounts specified herein and that Contractor has had the opportunity to recover the costs of such insurance in the Compensation set forth in this Agreement.

**Insurance.** Contractor shall furnish the City the certificates of insurance for workers' compensation, public liability, and property damage, including automobile coverage in the amounts specified by the City in the request for proposals, if any, otherwise in the amounts stated on **Exhibit D**, but unless otherwise provided shall be no less than the maximum amounts of liability set forth in Chapter 537.610 RSMo., applicable to political subdivisions. The policies of insurance shall be in such form and shall be issued by such company or companies as may be satisfactory to the City. The City, and such additional persons and entities as may be deemed to have an exposure to liability as a result of the performance of the Contractor's work, as determined by the City, shall be named as additional insured and the applicable insurer shall owe the City a duty of defense on all insurance policies required hereunder. The Contractor shall provide an Additional Insured Endorsement to the City that shall be approved by the City prior to commencement of any Work.

In addition to the foregoing, the Contractor shall maintain Professional Liability "errors and omissions" insurance in the form for the coverages satisfactory to City as indicated in the request for proposals, if any, otherwise as stated on attached **Exhibit D**, if any, but in no event less than the maximum amounts of liability set forth in Chapter 537.610 RSMo. applicable to political subdivisions. The City and Contractor waive all rights against each other for damages caused by fire or other perils to the extent covered by Builder's Risk or any other property insurance, except such rights as they may have to the proceeds of such insurance; provided that nothing herein shall be deemed a waiver of the City's sovereign immunity relative to any claim against the City.

**Nondisclosure.** The Contractor agrees that it will not divulge to third parties without the written consent of the City any information obtained from or through the City in connection with the performance of this Contract. Nothing herein shall preclude disclosure of information by the City.

**Changes.** No change in this Contract shall be made except in writing prior to the change in the Work or terms being performed. The Contractor shall make any and all changes in the Work without invalidating this Contract when specifically ordered to do so in writing by the City. The Contractor, prior to the commencement of such changed or revised Work, shall submit promptly to the City, a written cost or credit proposal for such revised Work. If the City and Contractor shall not be able to agree as to the amount, either in consideration of time or money to be allowed or deducted, it shall nevertheless be the duty of Contractor, upon written notice from the City, to immediately proceed with such alteration or change, and Contractor shall be compensated the reasonable value of such Work. **No Work or change shall be undertaken or compensated for without prior written authorization from the City.**

**Termination.** The City shall have the right to terminate the Contract at any time for any reason by giving the Contractor written notice to such effect. The City shall pay to the Contractor in full satisfaction and discharge of all amounts owing to the Contractor under the Contract an amount equal to the cost of all Work performed by the Contractor up to such termination date, less all amounts previously paid to the Contractor on account of the Contract Price. The Contractor shall submit to the City its statement for the aforesaid amount, in such reasonable detail as the City shall request, within thirty (30) days after such date of termination. The City shall not be liable to the Contractor for any damages on account of such termination for loss of anticipated future profits with respect to the remainder of the Work.

**Multi-year contracts; Non-appropriation.** Notwithstanding any provision herein to the contrary, the City is obligated only to make the payments set forth in the attached Contract as may lawfully be made from funds budgeted and appropriated for that purpose during the City's then current fiscal year at the discretion of the City. If no funds are appropriated or otherwise made legally available to make the required payments for this Agreement during the next occurring fiscal year (an "Event of Nonappropriation"), this Agreement will terminate at the end of the then current fiscal year as if terminated expressly. The failure or inability of the City to appropriate funds for this Agreement in any subsequent fiscal year shall not be deemed a breach of this Agreement by any party. If applicable, this Agreement may be annually renewed at each fiscal year by inclusion of specific appropriation for this Agreement, from year to year not to exceed the maximum renewal period or term as set forth in the Agreement.

**Accounting.** During the period of this Contract, the Contractor shall maintain books of accounts of its expenses and charges in connection with this Contract in accordance with generally accepted accounting principles and practices. The City shall at reasonable times have access to these books and accounts to the extent required to verify all invoices submitted hereunder by the Contractor.

**Correction Period.** Contractor hereby expressly guarantees the aforesaid Work as to workmanship and quality of materials used in connection herewith for a term of one (1) year, commencing on the date of final acceptance by the City, and binds itself, its successors or assigns, to make all repairs or replacements which may become necessary within said period due to construction defects and nonconformity with the City specifications or contract. The Contractor warrants to the City that all materials and equipment furnished under the Contract and incorporated in the Work will be new unless otherwise specified, and that all Work will be of good quality, free from faults and defects and in conformance with the Contract. The Contractor's general warranty and any additional or special warranties are not limited by the Contractor's obligations to specifically correct defective or nonconforming Work as set forth herein, nor are they limited by any other remedies provided in the Contract.

**Request for Proposals.** If the City issued a request for proposals in connection with the Work, such request for proposals and the proposal of the Contractor in response thereto are incorporated herein by reference and made a part of this Contract. In case of any conflicts between the request for proposals and the executed Contractor Services Contract or proposal of the Contractor, the requirements of the City's Request for Proposal and this executed Contract shall control and supersede unless a change thereto is specifically stated in this Contract (including **Exhibit A**, "Scope of Work").

**Project Records and Work Product.** The Contractor shall provide the City with copies of all documents pertinent to the Work which shall include, without limitation, reports, correspondence, meeting minutes, and originals of all deliverables. The City shall own all right, title and interest, including without limitations, all copyrights and intellectual property rights, to all documents and Work Product of the Contractor created in performance of or relating to this Contract. Contractor agrees to take all steps reasonably requested by the City to evidence, maintain, and defend the City's ownership rights in the Work Product.

**Site Operations.** Where appropriate, the City will arrange for right of entry to any property at the request of the Contractor for the purpose of performing studies, tests and evaluations in connection with the Work.

**Personnel.** The Work shall be performed exclusively by the personnel of the Contractor identified in the Contractor's proposal and no other personnel of the Contractor shall perform any of the Work without the express written approval of the City.

**Representations.** Contractor agrees that it has not relied on any representations or warranties of the City, oral or written, other than expressly identified in this Contract. The parties agree the Contract represents the entire agreement between the parties.

**Governing/Choice of Law.** This Agreement shall be governed by and construed and interpreted in accordance with the internal laws of the State of Missouri, without regard to its principles of conflict of laws.

**Other Special Provisions.** The special provisions set forth on **Exhibit A** are incorporated herein by reference and made a part hereof.

EXHIBIT A  
Proposal



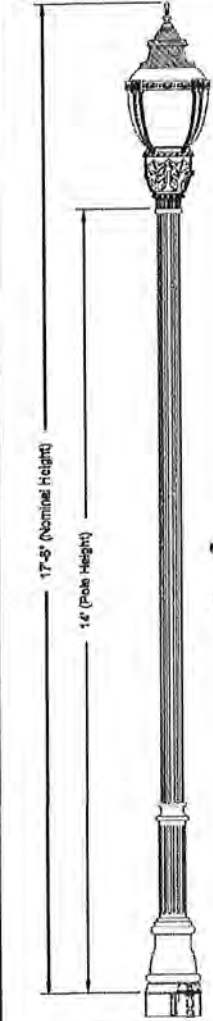
**Gerstner Electric, Inc.**

2400 Cassens Dr  
Fenton, MO 63026

Contact: BJ Boyer  
Phone: 636-680-5017  
Fax: 636-680-5067

Quote To: Mr. Frank Johnson  
City Clerk  
City of Twin Oaks  
1381 Big Bend Rd  
Twin Oaks, MO 63021  
Phone: 636-225-7873  
Email: FJohnson@CityOfTwinOaks.com

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
10	CONCRETE BASE	1.00	EA	2,025.00	2,025.00
20	2" CONDUIT	40.00	LF	14.50	580.00
30	#8 LIGHTING WIRE	90.00	LF	2.10	189.00
40	CONNECT TO AMEREN POWER SUPPLY	1.00	LS	395.00	395.00
50	LIGHT POLE AND FIXTURE	1.00	EA	5,860.00	5,860.00
<b>GRAND TOTAL</b>					<b>\$9,049.00</b>



- NOTES:**
1. ANY ADDITIONAL WEIGHT/EPA ON POLE, OR CHANGES TO BANNER SIZE, WILL NEED TO BE VERIFIED BY HOLOPHANE ENGINEERING.
  2. APPROVED AND COMPLETED SUBMITTAL TO ACCOMPANY PO.

**LOADING DATA**  
**WIND LOADING:**  
 90MPH  
 1.14 GUST  
 AASHTO 2009

**INITIAL INSTALLATION:**  
 2.26 SQ FT  
 (EQUIVALENT POLE TOP EPA)  
 21.8 LBS  
 (CURRENT LOADING WEIGHT)

**FUTURE INSTALLATION:**  
 11.0 SQ FT  
 (ADD'L EQUIV POLE TOP EPA)  
 275 LBS  
 (ADD'L LOADING CAPACITY)

### Specifications

**POLE DESCRIPTION**  
 The lighting pole shall consist of an aluminum shaft and a lower decorative base. The shaft profile will consist of 4 extending tracks and internal passages as shown. The pole shall be provided with (1) breakaway fit including bearing plate, set, nuts and washers, and (1) set breakaway couplings.

**MATERIALS**  
 The base shall be heavy wall, cast aluminum produced from certified ASTM 356.1 ingot per ASTM B-170 (6061 or ASTM B26-86). The shaft shall be extruded from aluminum, ASTM 6061 alloy. All hardware shall be stainless steel. Anchor bolts to be completely hot dip galvanized.

**CONSTRUCTION**  
 The shaft shall be double welded to the base casting and shipped as one piece for maximum structural integrity. The shaft shall be welded inside the base casting at the top of the access door, and externally where the shaft exits the base. All welding shall be per AWS/FAWS.

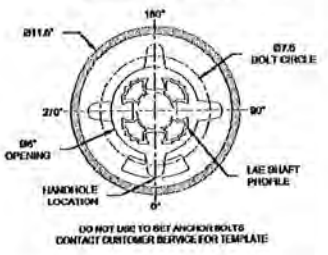
**DIMENSIONS**  
 The pole shall be 14'-0" in height with a 611.0" base. The shaft diameter shall be 64.0" square. A hand hole shall be provided for access. An integral 63"x33" lantern shall be provided for luminaire mounting.

**INSTALLATION**  
 The pole shall be provided with four, hot dip galvanized L-type anchor bolts. A door shall be provided to the base for anchorage and lifting access. A grounding screw shall be provided inside the base opposite the door.

**FINISH**  
 The entire pole assembly shall be standard Holograph black.

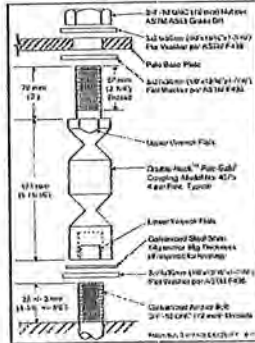
**LUMINAIRES**  
 Washington Postlike Enhanced LED 2  
 - LED Performance (Fig 40 - 4000 Swiss CCT - Black fish)  
 - Auto-Restoring Voltage (120-277V) - Asymmetric Type III optical  
 - Ornate Field, Band and Ribs - Black fish  
 - Shrouded Glass Cover

### Anchorage Detail



**Callouts to:**  
 Pole: CH4126H00001118VSKT  
 Anchor Bolt: AS 31-4  
 Breakaway Kit: CH4126H00001118VSKT AND PLATE RF0253410  
 Breakaway Couplings: TRANSPO-4075XL  
 Plate: WSE3240X06AS0303035

**Designer Signature** \_\_\_\_\_ **Date** \_\_\_\_\_



**SPECIFICATIONS**

**Performance Criteria**

1. Break-Away™ Pole-Safe™ conforms to AS/NZS 1752 "Standard Specifications for Structural Steels for Highway Signs, Luminaires and Traffic Signals"
2. Double Nut™ Pole-Safe™ has been tested and FEA'd against an equivalent with the requirements of FCPSP Report 233 "Accumulator Evaluation for the Safety Performance Evaluation of High-rise Features"
3. Maximum Allowable Pole Mass: 1400kg.

**Physical Characteristics/Conditions**

1. Ultimate Tensile Strength = 431.9 N/mm<sup>2</sup> (61.6 ksi)
2. Tensile Yield Strength = 118.8 N/mm<sup>2</sup> (17.1 ksi)
3. Ultimate Tensile Stress (Strength) = 4.8 kN (1.08 kips) maximum

**Customer Details:**

1. All Double Nut™ Pole-Safe™ couplings, nuts, bolts, washers and screws are galvanized after fabrication in accordance with ASTM A153.

**Pole-Safe™ Model No. 4075XL**  
 Break-Away Support System for Light Poles

**TRANSPO**  
 21 Jones Street  
 New Rochelle, NY 10801  
 914.635.1282



**Pole-Safe™ Model No. 4075XL**  
 Breakaway Support System for Light Poles

### INSTALLATION INSTRUCTIONS

**NOTE:** Proper installation is essential for the Pole-Safe Breakaway Support System to function correctly as designed.

1. Surface of foundation around anchor bolts must be smooth, flat and free of debris.
2. Existing anchor bolts MUST be sized to the proper projection height as shown on the reverse side of these instructions. Then, anchor bolts shall be cleaned, and if necessary, coated with cold galvanizing material prior to installing Pole-Safe couplings.
3. Install lower flat washers, and thread Pole-Safe couplings on to anchor bolts.
4. If needed, shims are provided for leveling of the pole base plate, and may be installed on the top and/or bottom of the couplings. No more than 2 shims shall be installed on any one coupling. For larger adjustments that may be required, install no more than one additional flat washer per Pole-Safe coupling.
5. Use lower wrench flats to tighten Pole-Safe couplings on to the anchor bolts. Secure couplings as tight as possible using conventional wrenches. Do not use open wrenches. Couplings must be seated squarely on the washers, and washers must be seated uniformly on top of the foundation. If necessary, remove coupling and reduce the anchor bolt projection height to allow proper seating of the couplings.
6. Install a flat washer on top of each Pole-Safe coupling, and set the pole with base plate on top of the couplings.
7. Install a flat washer and nut on to each Pole-Safe coupling extended through the pole base plate. If pole is not plumb, install shims and/or washers for proper leveling as described in Step 4 above.
8. Tighten each nut on to pole base plate. Pole-Safe couplings must be held with an additional wrench on the upper wrench flats to prevent an induced torque stress across the necked portion of the couplings. Nuts shall be tightened using the turn-of-nut method in accordance with American Institute of Steel Construction (AISC) procedures for ASTM A325 and A490 anchor bolts. 1/3 rotation past " snug tight".

Transpo Industries, Inc. 20 Jones Street, New Rochelle, NY 10801-6806  
 Phone: 914-635-1020 Fax: 914-635-1282  
 www.transpo.com

Three working days prior to the start of any installation on this pole the Distributor shall contact 1-800-341-3433 for safety training information.

The applicant shall comply with Occupational Safety and Health Administration (OSHA) and/or other applicable state and/or federal regulations for all type of construction required by these plans.

### FOR BIDDING PURPOSES ONLY

Date \_\_\_\_\_  
 Raymond H. Frankenberg II, P.E. #22537  
 State of Missouri  
 Registered Professional Engineer for BFA, Inc.  
 Professional Engineer Corporation #000472

SHEET INDEX	
DETAIL 1	FOUND. CIRC. FOUND. DIMS. DETAIL AND SPECIFICATIONS
DETAIL 2	BREAKAWAY SUPPORT SYSTEM DETAIL AND SPECIFICATIONS
DETAIL 3	BREAKAWAY SUPPORT SYSTEM INSTALLATION INSTRUCTIONS

www.bfaeng.com 100 Phone: (415) 234-4721

**BFA**  
 CONSULTING ENGINEERS-ARCHITECTS  
 www.bfaeng.com

103 6TH STREET  
 SAN ANGELO, TEXAS 76901

BIG BEND ROAD  
 CITY OF TWIN OAKS  
 ST. LOUIS COUNTY  
 MISSOURI, 63021

REVISIONS	
1	
2	
3	
4	
5	
6	

DRAWN: JLV  
 CHECKED: TSM  
 DATE: 08/29/2010  
 SCALE: NONE  
 JOB No.: 3492-20  
 SHEET NAME: DETAIL SHEET

DTL-1



**Twin Oaks**  
 St. Louis, MO

ORDER #: 2377-17-10221-1	TYPE:	DRAWING #:
REVISION: 4	REVISION DATE: 11/27/17	TSG 010458
DRAWN: MAB	ORIGIN DATE: 10/18/17	PAGE: 1 of 1

THE DRAWING, WHETHER APPROVED OR NOT, CONTAINS THE COMPLETE SPECIFICATION FOR THE MATERIAL TO BE FURNISHED BY THE CONTRACTOR OR THE CONTRACTOR'S SUBCONTRACTOR. A LIST OF SOME OF THE MATERIALS TO BE USED IS GIVEN IN THE SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

Exhibit B

AFFIDAVIT OF PARTICIPATION IN  
FEDERAL WORK AUTHORIZATION PROGRAM

Comes now \_\_\_\_\_, first being duly sworn, on my oath and affirms that **Gerstner Electric, Inc.** ("Company") is enrolled and will continue to participate in federal work authorization program with respect to employees that will work in connection with the contracted services related to and any incidental items associated with this work for the duration of the contract, if awarded, in accordance with Section 285.530.2, Revised Statutes of Missouri. I also affirm that the Company does not and will not knowingly employ a person who is an unauthorized alien in connection with the contracted services for the duration of the contract, if awarded. Attached to this affidavit is documentation of the Company's participation in a federal work authorization program.

**(ATTACH DOCUMENTATION SHOWING THAT COMPANY PARTICIPATES IN FEDERAL WORK AUTHORIZATION PROGRAM. ALSO ATTACH DRIVER'S LICENSE OR OTHER PROOF OF LAWFUL PRESENCE, AS PROVIDED IN THE GENERAL CONDITIONS - 208.009 RSMo.)**

*In Affirmation thereof, the facts stated above are true and correct (The undersigned understands that false statements made in this filing are subject to the penalties provided under Section 575.040, RSMo.).*

\_\_\_\_\_  
Signature (person with authority)

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Date

State of Missouri )

) ss.

County of \_\_\_\_\_ )

Subscribed and sworn to before me this \_\_\_\_ day of \_\_\_\_\_, 2020.

My commission expires:

\_\_\_\_\_  
Notary Public



Exhibit C

N/A

**Exhibit D**

Insurance in an amount acceptable to the City.

**AN ORDINANCE AMENDING CERTAIN SECTIONS OF CHAPTER 500 CODE OF THE CITY OF TWIN OAKS PERTAINING TO THE BUILDING CODE, RESIDENTIAL CODE, EXISTING BUILDING CODE, ELECTRICAL CODE, PLUMBING CODE, MECHANICAL CODE, AND PROPERTY MAINTENANCE CODE AND ENACTING A NEW SWIMMING POOL AND SPA CODE**

---

**WHEREAS**, the City of Twin Oaks, Missouri is desirous of updating its minimum requirements and standards for the construction, alteration, use, and occupancy of buildings and structures, the installation of mechanical, electrical, and plumbing systems, fixtures, and equipment to protect the health, safety, and welfare of the citizens of the City of Twin Oaks, Missouri;

**NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF TWIN OAKS AS FOLLOWS:**

**Section 1:** Section 500.010 of the City Code is hereby amended by repealing the entire Section 500.010 and enacting a new Section 500.010 to read as follows:

**“Section 500.010 Adoption of Building Code**

The “International Building Code, 2015 edition,” as published by the International Code Council as adopted, amended, and revised by St. Louis County, Missouri, pursuant to St. Louis County Ordinance No. 27,654 as adopted on April 1, 2020, effective July 1, 2020 is hereby incorporated by reference and adopted as the Building Code for the City of Twin Oaks, Missouri as if fully set out herein, provided that wherever St. Louis County or a division, department, or official of St. Louis County is referred to in the aforementioned ordinances of St. Louis County it shall be construed to mean this City or the corresponding appropriate division, department, or official, and further provided that wherever St. Louis County, Missouri is referred to in the context of jurisdiction in the aforementioned ordinances of St. Louis County it shall be deemed to mean Twin Oaks, Missouri.”

**Section 2:** Article II, Residential Code, of the City Code is hereby amended by repealing the entire Article II, Residential Code, and enacting a new Article II to read as follows:

**“Article II Residential Code and Swimming Pool and Spa Code**

**Section 500.030 Adoption of Residential Code**

The “International Residential Code, 2015 edition,” as published by the International Code Council as adopted, amended, and revised by St. Louis County, Missouri, pursuant to St. Louis County Ordinance No. 27,654 as adopted on April 1, 2020, effective July 1, 2020 is hereby incorporated by reference and adopted as the Residential Code for the City of Twin Oaks, Missouri as if fully set out herein, provided that wherever St. Louis County or a division, department, or official of St. Louis County is referred to in the aforementioned ordinances of St. Louis County it shall be construed to mean this City or the corresponding appropriate division, department, or official, and further provided that wherever St. Louis

County, Missouri is referred to in the context of jurisdiction in the aforementioned ordinances of St. Louis County it shall be deemed to mean Twin Oaks, Missouri.

**Section 500.035 Adoption of Swimming Pool and Spa Code**

The “International Swimming Pool and Spa Code, 2015 edition,” as published by the International Code Council as adopted, amended, and revised by St. Louis County, Missouri, pursuant to St. Louis County Ordinance No. 27,654 as adopted on April 1, 2020, effective July 1, 2020, is hereby incorporated by reference and adopted as the Swimming Pool and Spa Code for the City of Twin Oaks, Missouri as if fully set out herein, provided that wherever St. Louis County or a division, department, or official of St. Louis County is referred to in the aforementioned ordinances of St. Louis County it shall be construed to mean this City or the corresponding appropriate division, department, or official, and further provided that wherever St. Louis County, Missouri is referred to in the context of jurisdiction in the aforementioned ordinances of St. Louis County it shall be deemed to mean Twin Oaks, Missouri.”

**Section 3:** Section 500.040 of the City Code is hereby amended by repealing the entire Section 500.040 and enacting a new Section 500.040 to read as follows:

**“Section 500.040 Adoption of Existing Building Code**

The “International Existing Building Code, 2015 edition,” as published by the International Council as adopted, amended, and revised by St. Louis County, Missouri, pursuant to St. Louis County Ordinance No. 27,654 as adopted on April 1, 2020, effective July 1, 2020 is hereby incorporated by reference and adopted as the Existing Building Code for the City of Twin Oaks, Missouri as if fully set out herein, provided that wherever St. Louis County or a division, department, or official of St. Louis County is referred to in the aforementioned ordinances of St. Louis County it shall be construed to mean this City or the corresponding appropriate division, department, or official, and further provided that wherever St. Louis County, Missouri is referred to in the context of jurisdiction in the aforementioned ordinances of St. Louis County it shall be deemed to mean Twin Oaks, Missouri.”

**Section 4:** Section 500.050 of the City Code is hereby amended by repealing the entire Section 500.050 and enacting a new Section 500.050 to read as follows:

**“Section 500.050 Adoption of Electrical Code**

The “National Electrical Code, 2014 edition,” as published by the National Fire Protection Association as adopted, amended, and revised by St. Louis County, Missouri, pursuant to St. Louis County Ordinance No. 27,430 as adopted on June 18, 2019, effective October 1, 2019, is hereby incorporated by reference and adopted as the Electrical Code for the City of Twin Oaks, Missouri as if fully set out herein, provided that wherever St. Louis County or a division, department, or official of St. Louis County is referred to in the aforementioned ordinances of St. Louis County it shall be construed to mean this City or the corresponding appropriate division, department, or official, and further provided that wherever St. Louis County, Missouri is referred to in the context of jurisdiction in the

aforementioned ordinances of St. Louis County it shall be deemed to mean Twin Oaks, Missouri.”

**Section 5:** Section 500.060 of the City Code is hereby amended by repealing the entire Section 500.060 and enacting a new Section 500.060 to read as follows:

**“Section 500.060 Adoption of Plumbing Code**

The “Uniform Plumbing Code, 2015 edition,” as published by the International Association of Plumbing and Mechanical Officials as adopted, amended, and revised by St. Louis County, Missouri, pursuant to St. Louis County Ordinance No. 27,424 as adopted on June 5, 2019, effective October 1, 2019, is hereby incorporated by reference and adopted as the Plumbing Code for the City of Twin Oaks, Missouri as if fully set out herein, provided that wherever St. Louis County or a division, department, or official of St. Louis County is referred to in the aforementioned ordinances of St. Louis County it shall be construed to mean this City or the corresponding appropriate division, department, or official, and further provided that wherever St. Louis County, Missouri is referred to in the context of jurisdiction in the aforementioned ordinances of St. Louis County it shall be deemed to mean Twin Oaks, Missouri.”

**Section 6:** Article VI, Mechanical Code, is hereby amended by (1) amending the title to “Mechanical Code and Fuel Gas Code,” (2) repealing Section 500.070 in its entirety and replacing it as set forth below, and (3) adopting a new Section 500.075, Fuel Gas Code, all to read as follows:

**“Article VI. Mechanical Code and Fuel Gas Code**

**Section 500.070 Adoption of Mechanical Code**

The “International Mechanical Code, 2015 edition,” as published by the International Code Council as adopted, amended, and revised by St. Louis County, Missouri, pursuant to St. Louis County Ordinance No. 27,619 as adopted on April 1, 2020, effective July 1, 2020, is hereby incorporated by reference and adopted as the Mechanical Code for the City of Twin Oaks, Missouri as if fully set out herein, provided that wherever St. Louis County or a division, department, or official of St. Louis County is referred to in the aforementioned ordinances of St. Louis County it shall be construed to mean this City or the corresponding appropriate division, department, or official, and further provided that wherever St. Louis County, Missouri is referred to in the context of jurisdiction in the aforementioned ordinances of St. Louis County it shall be deemed to mean Twin Oaks, Missouri.

**Section 500.075 Adoption of Fuel Gas Code**

The “International Fuel Gas Code, 2015 edition,” as published by the International Code Council as adopted, amended, and revised by St. Louis County, Missouri, pursuant to St. Louis County Ordinance No. 27,619 as adopted on April 1, 2020, effective July 1, 2020, is hereby incorporated by reference and adopted as the Fuel and Gas Code for the City of Twin Oaks, Missouri as if fully set out herein, provided that wherever St. Louis County or a division, department, or official of St. Louis County is referred to in the aforementioned

ordinances of St. Louis County it shall be construed to mean this City or the corresponding appropriate division, department, or official, and further provided that wherever St. Louis County, Missouri is referred to in the context of jurisdiction in the aforementioned ordinances of St. Louis County it shall be deemed to mean Twin Oaks, Missouri.”

**Section 7:** Section 500.090 of the City Code is hereby amended by repealing the entire Section 500.090 and enacting a new Section 500.090 to read as follows:

**“Section 500.090 Adoption of Property Maintenance Code**

The “International Property Maintenance Code, 2015 edition,” as published by the International Council as adopted, amended, and revised by St. Louis County, Missouri, pursuant to St. Louis County Ordinance No. 27,617 as adopted on April 1, 2020, effective July 1, 2020, is hereby incorporated by reference and adopted as the Property Maintenance Code for the City of Twin Oaks, Missouri as if fully set out herein, provided that wherever St. Louis County or a division, department, or official of St. Louis County is referred to in the aforementioned ordinances of St. Louis County it shall be construed to mean this City or the corresponding appropriate division, department, or official, and further provided that wherever St. Louis County, Missouri is referred to in the context of jurisdiction in the aforementioned ordinances of St. Louis County it shall be deemed to mean Twin Oaks, Missouri.”

**Section 8:** Section 500.020, Zoning Compliance Required, is hereby amended by first, renumbering it as Section 500.125 and moving it in its entirety to Article X, Miscellaneous Provisions, and second to delete the final sentence to read as follows:

**Section 500.125 Zoning Compliance Required**

No permit for the erection, reconstruction, extension or alteration of any building or structure shall be issued and no work under any such permit shall be started until the Code Enforcement Official has determined in writing that the proposed building or use complies with the requirements of the Zoning Code and other applicable ordinances of the City of Twin Oaks. ~~A fee of twenty five dollars (\$25.00) shall be paid at the time application for a building permit is applied for with the City.~~

Section 500.020 shall be reserved.

**Section 9:** Section 500.080, Copies of Code on File, is hereby renumbered as Section 500.127 and moved in its entirety to Article X, Miscellaneous Provisions. Section 500.080 shall be reserved.

**Section 10:** Pursuant to Section 67.280 R.S.Mo., at least one copy of the above Building Codes has been available to the public on the City’s website and as such on file with the City Clerk for a period of ninety (90) days prior to the effective date of this ordinance and shall be kept available for public use, inspection, and examination. Having complied with Section 67.280 R.S.Mo., this ordinance shall be in full force and effect from and after its passage by the Board of Aldermen and approval by the Mayor and the regulations adopted hereby shall go into effect on August \_\_, 2020.

PASSED AFTER HAVING BEEN READ IN FULL OR BY TITLE TWO TIMES PRIOR TO PASSAGE BY THE BOARD OF ALDERMEN OF THE CITY OF TWIN OAKS, MISSOURI, THIS \_\_\_ DAY OF AUGUST 2020.

---

Russ Fortune, Mayor

Attest:

---

Frank Johnson, City Clerk

RESOLUTION NO. 20-21

**A RESOLUTION OF THE TWIN OAKS BOARD OF ALDERMEN  
APPROVING AN AGREEMENT WITH STF, LLC DOING BUSINESS AS  
TRAFFIC CONTROL COMPANY FOR CERTAIN TRAFFIC STRIPING  
SERVICES ON MERAMEC STATION ROAD.**

---

**BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF TWIN OAKS, MISSOURI, AS FOLLOWS:**

**Section 1.** The Board of Aldermen hereby approves, and the Mayor is hereby authorized to execute, a contract substantially in the form of “Exhibit 1” attached hereto and incorporated herein, on behalf of Twin Oaks with STF, LLC doing business as Traffic Control Company for services relating to street striping of specific areas of Meramec Station Road south of its intersection with Big Bend Road to be provided under the terms set forth in Exhibit 1.

**Section 2.** This Resolution is adopted and shall be in full force and effect on and after its passage and approval.

THIS RESOLUTION WAS PASSED AND APPROVED THE 5<sup>th</sup> DAY OF AUGUST 2020, BY THE BOARD OF ALDERMEN OF THE CITY OF TWIN OAKS, MISSOURI.

---

Russ Fortune, Mayor

Attest:

---

Frank Johnson, City Clerk



**Twin Oaks, Missouri**  
**CONTRACTOR SERVICES CONTRACT**

THIS AGREEMENT, made and effective as of August [REDACTED], 2020, by and between the **City of Twin Oaks, Missouri**, a municipal corporation hereinafter referred to as the “City,” and **STF, LLC** doing business as **Traffic Control Company**, a Missouri limited liability company, hereinafter referred to as “Contractor,” with a business mailing address of 601 8<sup>th</sup> Street, Valley Park, MO 63088;

WHEREAS, the Contractor provided the City with the proposal, attached hereto as **Exhibit A** and incorporated herein by reference, for certain services relating to street striping of specific areas of Meramec Station Road, south of its intersection with Big Bend Road (the “Proposal”), and the City wishes to engage the Contractor as provider of those services to the City, in accordance with the terms of this Agreement;

WITNESSETH: That the parties hereto for the considerations hereinafter set forth agree as follows:

**I. SCOPE OF SERVICES**

Contractor’s services are necessary for the following Project of City: *Street Striping—Meramec Station Road*.

Except as expressly specified herein, Contractor hereby agrees to provide the expertise, supplies, supervision, labor, skill, materials, equipment, and apparatus to perform all the services and do all the things necessary for the proper completion of the scope of services for the Project listed above and which are particularly described in the attached **Exhibit A** incorporated herein.

The above-reference services (hereinafter referred to as the “Work”) shall be provided by the Contractor in accordance with all the provisions of the Proposal and the attached **Twin Oaks General Conditions** which are incorporated herein by reference, and the terms of the General Conditions shall prevail over any conflicting terms that may otherwise be adopted herein as part of any attachment, including the Proposal. If there is any conflict between the City’s General Conditions (attached hereto and incorporated herein by reference) and the Proposal, this Agreement and its General Conditions shall prevail.

**II. SCHEDULING OF WORK AND INTERFERENCE WITH TRAFFIC**

The City and the Contractor understand that in the course of the Work, the Contractor may be required to close a lane of traffic near the intersection of Big Bend Road. The Contractor’s Work must be scheduled and accomplished in stages such that thru traffic is maintained during striping. It shall be the Contractor’s responsibility to provide a traffic way that is usable in all weather conditions.

When it is necessary to close a lane of traffic, the Contractor agrees that it will be the responsibility of the Contractor to provide all necessary traffic control and safety barriers, signage, lane markers, and all other equipment that may be necessary to assure safe and least

restrictive lane closure. At all times until the City's final acceptance of the Work, the Contractor shall provide and maintain such necessary traffic control and safety barriers, signage, lane markers, and all other equipment necessary to assure safe and least restrictive lane closure and provide watchmen and flaggers as may be necessary to properly protect the Work and provide for safe and convenient public travel. No additional payment shall be made for all necessary traffic control and safety barriers, signage, lane markers, and all other equipment that may be necessary to assure safe and least restrictive lane closure necessary to maintain traffic and to protect the Work and the public and all labor, equipment, and material necessary to accomplish this task shall be considered incidental.

Any injury to person or property due to the Contractor's failure to adequately provide all necessary traffic control and safety barriers, signage, lane markers, and other necessary equipment—including, but not limited to, injury to the public, injury to the Contractor's or the City's employees, or damage to property—will be the sole responsibility of the Contractor and Contractor expressly holds City harmless and agrees to indemnify the City as set forth in the City's General Conditions which are attached and incorporated herein by reference. The Contractor's failure to adequately provide all necessary traffic control and safety barriers, signage, lane markers, and other necessary equipment indicating closure of a lane on Meramec Station Road south of its intersection with Big Bend Road shall be a material breach of this Contract.

### III. COMPENSATION

**A. Basic Compensation.** The City hereby agrees to pay the Contractor as set forth below, as full compensation upon the completion of the Work in a manner satisfactory to the City, either Option 1 or Option 2 as checked below:

**Option 1, Paint:**

Due at the City's final acceptance of the Work: \$2,750.00

*or*

**Option 2, Preform Thermoplastic:**

Due at the City's final acceptance of the Work: \$6,050.00

as more fully set forth in the Proposal.

### IV. TIME AND MANNER OF PAYMENTS

All invoices complete with necessary support documentation shall be submitted to the City and payment shall be made by City within thirty (30) days of receipt of an invoice received after satisfactory performance of the Work for the fees, prices, rates, or schedule of values set forth below.

### V. CONTRACT SCHEDULE

Time is of the essence. The work to be performed under this Contract shall be commenced on \_\_\_\_\_, 2020, and shall be completed in a reasonable manner no later than \_\_\_\_\_, 2020. Failure to complete the Work by the completion date shall result in a reduction in the amount due to the Contractor under this Contract in the amount of \$100.00 per day as liquidated damages, herein acknowledged to be reasonable compensation for such delay, in addition to any other remedy that the City may have hereunder.

IN WITNESS WHEREOF, the parties hereto have signed this Agreement as of the effective date of Contract first above written.

**STF, LLC d/b/a TRAFFIC CONTROL COMPANY**

**CITY OF TWIN OAKS**

By \_\_\_\_\_

By \_\_\_\_\_

Title \_\_\_\_\_

Title \_\_\_\_\_

DATED: \_\_\_\_\_

DATED: \_\_\_\_\_

ATTEST: \_\_\_\_\_

City Clerk

**GENERAL CONDITIONS  
CITY OF TWIN OAKS, MISSOURI  
CONTRACTOR SERVICES AGREEMENT**

**Independent Contractor.** The Contractor shall be and operate as an independent contractor in the performance of this Contract. The Contractor shall have complete charge of the personnel engaged in the performance of the Work, and all persons employed by the Contractor shall be employees of said Contractor and not employees of the City in any respect.

**Compliance with Laws.** The Contractor shall comply with all applicable City ordinances and other laws and regulations, Federal, State, and any political subdivision thereof, including but not limited to, unemployment and workers' compensation, occupational safety, equal employment and affirmative action and wage and price laws insofar as applicable to the performance of the Contract. Specifically, Contractor shall comply with the following state law requirements:

- *Work Authorization Program.* If the Contract is for services expected to cost more than \$5,000.00, the Contractor shall comply with Section 285.530 RSMo., pertaining to enrollment and participation in a federal work authorization program (as defined therein) and shall provide verification through an affidavit (attached as **Exhibit B**) that the Contractor (1) does not knowingly employ any person who is an unauthorized alien in connection with the Contract and (2) is enrolled in a federal work authorization program and provide documentary proof thereof. The affidavit shall contain the notarized signature of the registered agent, legal representative or corporate officer of the business entity including but not limited to the human resources director or their equivalent.
- *Proof of Lawful Presence.* Section 208.009 RSMo., requires that all applicants *at the time of application* for any contract provided by a local government provide "affirmative proof that the applicant is a citizen or a permanent resident of the United States or is lawfully present in the United States." Contractor's affirmative proof must be established through (i) a Missouri driver's license, (ii) any "documentary evidence recognized by the department of revenue when processing an application for a driver's license," or (iii) "any document issued by the federal government that confirms an alien's lawful presence in the United States." §208.009.3.
- Contractor further agrees to pay not less than the prevailing hourly wage of wages set out on the wage order attached hereto as **Exhibit C** and made part of the specification for Work under this Agreement, to all workers performing any work under this Contract. The Contractor will forfeit a penalty to the City of \$100 per day for each worker that is paid less than the prevailing rate for any Work done under the contract by the Contractor.

**Subcontracts.** The Contractor shall not subcontract any of the Work to be performed by it hereunder without the express written consent of the City. In addition, this Contract shall not be assigned by the Contractor.

**Indemnification.** To the fullest extent permitted by law, the Contractor agrees to defend with counsel selected by the City, and indemnify and hold harmless the City, its officers, engineers, representatives, agents and employees from and against any and all liabilities, damages, losses, claims or suits, including costs and attorneys' fees, for or on account of any kind of injury to person, bodily or otherwise, or death, or damage to or destruction of property, or any other circumstances, sustained by the City or others, arising from Contractor's breach of the Contract or out of services and operations performed hereunder by the Contractor, including the City's reliance on or use of the services or products provided by the Contractor under the terms of this agreement. The Contractor shall not be liable for any loss or damage attributable solely to the negligence of the City. To the extent required by law to enforce this provision, Contractor agrees that this indemnification requires Contractor to obtain insurance in amounts specified herein and that Contractor has had the opportunity to recover the costs of such insurance in the Compensation set forth in this Agreement.

**Insurance.** Contractor shall furnish the City the certificates of insurance for workers' compensation, public liability, and property damage, including automobile coverage in the amounts specified by the City in the request for proposals, if any, otherwise in the amounts stated on **Exhibit D**, but unless otherwise provided shall be no less than the maximum amounts of liability set forth in Chapter 537.610 RSMo., applicable to political subdivisions. The policies of insurance shall be in such form and shall be issued by such company or companies as may be satisfactory to the City. The City, and such additional persons and entities as may be deemed to have an exposure to liability as a result of the performance of the Contractor's work, as determined by the City, shall be named as additional insured and the applicable insurer shall owe the City a duty of defense on all insurance policies required hereunder. The Contractor shall provide an Additional Insured Endorsement to the City that shall be approved by the City prior to commencement of any Work.

In addition to the foregoing, the Contractor shall maintain Professional Liability "errors and omissions" insurance in the form for the coverages satisfactory to City as indicated in the request for proposals, if any, otherwise as stated on attached **Exhibit D**, if any, but in no event less than the maximum amounts of liability set forth in Chapter 537.610 RSMo. applicable to political subdivisions. The City and Contractor waive all rights against each other for damages caused by fire or other perils to the extent covered by Builder's Risk or any other property insurance, except such rights as they may have to the proceeds of such insurance; provided that nothing herein shall be deemed a waiver of the City's sovereign immunity relative to any claim against the City.

**Nondisclosure.** The Contractor agrees that it will not divulge to third parties without the written consent of the City any information obtained from or through the City in connection with the performance of this Contract. Nothing herein shall preclude disclosure of information by the City.

**Changes.** No change in this Contract shall be made except in writing prior to the change in the Work or terms being performed. The Contractor shall make any and all changes in the Work without invalidating this Contract when specifically ordered to do so in writing by the City. The Contractor, prior to the commencement of such changed or revised Work, shall submit promptly to the City, a written cost or credit proposal for such revised Work. If the City and Contractor shall not be able to agree as to the amount, either in consideration of time or money to be allowed or deducted, it shall nevertheless be the duty of Contractor, upon written notice from the City, to immediately proceed with such alteration or change, and Contractor shall be compensated the reasonable value of such Work. **No Work or change shall be undertaken or compensated for without prior written authorization from the City.**

**Termination.** The City shall have the right to terminate the Contract at any time for any reason by giving the Contractor written notice to such effect. The City shall pay to the Contractor in full satisfaction and discharge of all amounts owing to the Contractor under the Contract an amount equal to the cost of all Work performed by the Contractor up to such termination date, less all amounts previously paid to the Contractor on account of the Contract Price. The Contractor shall submit to the City its statement for the aforesaid amount, in such reasonable detail as the City shall request, within thirty (30) days after such date of termination. The City shall not be liable to the Contractor for any damages on account of such termination for loss of anticipated future profits with respect to the remainder of the Work.

**Multi-year contracts; Non-appropriation.** Notwithstanding any provision herein to the contrary, the City is obligated only to make the payments set forth in the attached Contract as may lawfully be made from funds budgeted and appropriated for that purpose during the City's then current fiscal year at the discretion of the City. If no funds are appropriated or otherwise made legally available to make the required payments for this Agreement during the next occurring fiscal year (an "Event of Nonappropriation"), this Agreement will terminate at the end of the then current fiscal year as if terminated expressly. The failure or inability of the City to appropriate funds for this Agreement in any subsequent fiscal year shall not be deemed a breach of this Agreement by any party. If applicable, this Agreement may be annually renewed at each fiscal year by inclusion of specific appropriation for this Agreement, from year to year not to exceed the maximum renewal period or term as set forth in the Agreement.

**Accounting.** During the period of this Contract, the Contractor shall maintain books of accounts of its expenses and charges in connection with this Contract in accordance with generally accepted accounting principles and practices. The City shall at reasonable times have access to these books and accounts to the extent required to verify all invoices submitted hereunder by the Contractor.

**Correction Period.** Contractor hereby expressly guarantees the aforesaid Work as to workmanship and quality of materials used in connection herewith for a term of one (1) year, commencing on the date of final acceptance by the City, and binds itself, its successors or assigns, to make all repairs or replacements which may become necessary within said period due to construction defects and nonconformity with the City specifications or contract. The Contractor warrants to the City that all materials and equipment furnished under the Contract and incorporated in the Work will be new unless otherwise specified, and that all Work will be of good quality, free from faults and defects and in conformance with the Contract. The Contractor's general warranty and any additional or special warranties are not limited by the Contractor's obligations to specifically correct defective or nonconforming Work as set forth herein, nor are they limited by any other remedies provided in the Contract.

**Request for Proposals.** If the City issued a request for proposals in connection with the Work, such request for proposals and the proposal of the Contractor in response thereto are incorporated herein by reference and made a part of this Contract. In case of any conflicts between the request for proposals and the executed Contractor Services Contract or proposal of the Contractor, the requirements of the City's Request for Proposal and this executed Contract shall control and supersede unless a change thereto is specifically stated in this Contract (including **Exhibit A**, "Scope of Work").

**Project Records and Work Product.** The Contractor shall provide the City with copies of all documents pertinent to the Work which shall include, without limitation, reports, correspondence, meeting minutes, and originals of all deliverables. The City shall own all right, title and interest, including without limitations, all copyrights and intellectual property rights, to all documents and Work Product of the Contractor created in performance of or relating to this Contract. Contractor agrees to take all steps reasonably requested by the City to evidence, maintain, and defend the City's ownership rights in the Work Product.

**Site Operations.** Where appropriate, the City will arrange for right of entry to any property at the request of the Contractor for the purpose of performing studies, tests and evaluations in connection with the Work.

**Personnel.** The Work shall be performed exclusively by the personnel of the Contractor identified in the Contractor's proposal and no other personnel of the Contractor shall perform any of the Work without the express written approval of the City.

**Representations.** Contractor agrees that it has not relied on any representations or warranties of the City, oral or written, other than expressly identified in this Contract. The parties agree the Contract represents the entire agreement between the parties.

**Governing/Choice of Law.** This Agreement shall be governed by and construed and interpreted in accordance with the internal laws of the State of Missouri, without regard to its principles of conflict of laws.

**Other Special Provisions.** The special provisions set forth on **Exhibit A** are incorporated herein by reference and made a part hereof.

EXHIBIT A  
Proposal

**Traffic Control Company**

601 8th Street  
Valley Park, Mo. 63088  
phone - (636) 225-7800  
fax - (636) 225-3460



Established in 1962 / Making Strides Since 2007

**QUOTE**

**PROJECT: MERAMAC STATION ROAD**

**QUOTE DATE: 7/27/20**

ITEM	DESCRIPTION	QTY.	U of M	UNIT PRICE	TOTAL
	MOBILIZATION	1.00	LS	\$ 2,500.00	\$ 2,500.00
	PAVEMENT MARKING REMOVAL	150.00	LF	\$ 1.00	\$ 150.00
	6" WHITE PAINT	1,000.00	LF	\$ 1.25	\$ 1,250.00
<b>PAINT OPTION</b>					
	TURN ARROW PAINT	2.00	EA	\$ 100.00	\$ 200.00
	"ONLY" PAINT	2.00	EA	\$ 150.00	\$ 300.00
	6" PAINT FOR CROSS WALK	245.00	LF	\$ 1.75	\$ 428.75
	MIDBLOCK CROSS WALK PAINT	30.00	EA	\$ 50.00	\$ 1,500.00
<b>PREFORM THERMOPLASTIC OPTION</b>					
	TURN ARROW PREFORM THERMOPLASTIC	2.00	EA	\$ 250.00	\$ 500.00
	"ONLY" PREFORM THERMOPLASTIC	2.00	EA	\$ 350.00	\$ 700.00
	6" PREFORM THERMOPLASTIC FOR CROSS WALK	245.00	LF	\$ 4.00	\$ 980.00
	MIDBLOCK CROSS WALK PREFORM	30.00	EA	\$ 160.00	\$ 4,800.00

EXHIBIT B  
AFFIDAVIT OF PARTICIPATION IN  
FEDERAL WORK AUTHORIZATION PROGRAM

Comes now \_\_\_\_\_, as \_\_\_\_\_, first being duly sworn, on my oath and affirms that **Traffic Control Company** ("Company") is enrolled and will continue to participate in federal work authorization program with respect to employees that will work in connection with the contracted services related to and any incidental items associated with this work for the duration of the contract, if awarded, in accordance with Section 285.530.2, Revised Statutes of Missouri. I also affirm that the Company does not and will not knowingly employ a person who is an unauthorized alien in connection with the contracted services for the duration of the contract, if awarded. Attached to this affidavit is documentation of the Company's participation in a federal work authorization program.

**(ATTACH DOCUMENTATION SHOWING THAT COMPANY PARTICIPATES IN FEDERAL WORK AUTHORIZATION PROGRAM. ALSO ATTACH DRIVER'S LICENSE OR OTHER PROOF OF LAWFUL PRESENCE, AS PROVIDED IN THE GENERAL CONDITIONS - 208.009 RSMo.)**

*In Affirmation thereof, the facts stated above are true and correct (The undersigned understands that false statements made in this filing are subject to the penalties provided under Section 575.040, RSMo.).*

\_\_\_\_\_  
Signature (person with authority)

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Date

State of Missouri )

) ss.

County of \_\_\_\_\_ )

Subscribed and sworn to before me this \_\_\_\_ day of \_\_\_\_\_, 2020.

My commission expires:

\_\_\_\_\_  
Notary Public

EXHIBIT C

[INSERT APPLICABLE PREVAILING WAGE ORDER FROM MoDOL]

*N/A*



## Exhibit D Insurance

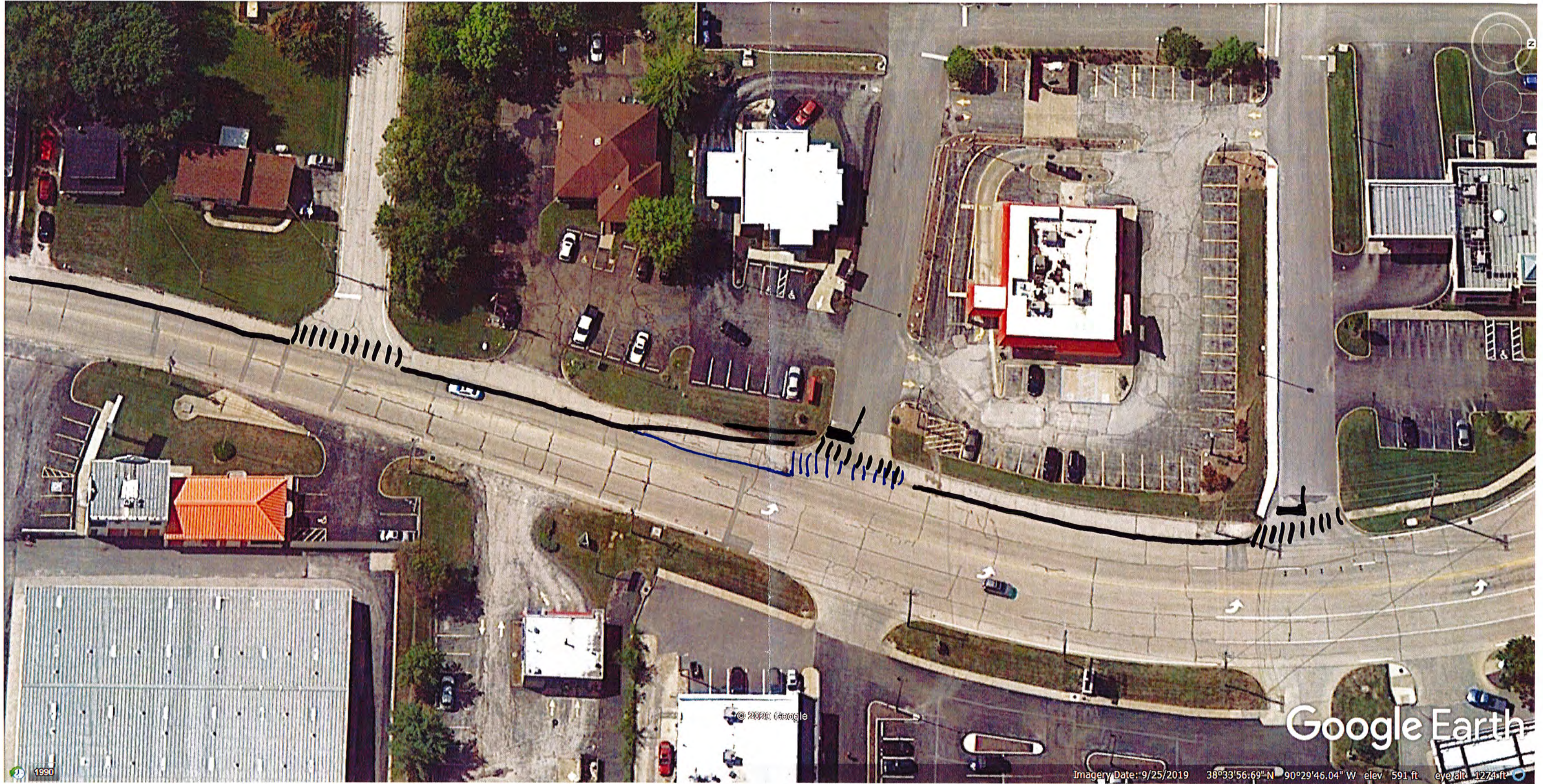
The Contractor shall obtain and maintain during the term of the Project and the City-Contractor Agreement the insurance coverages at least equal to the coverages set forth in this paragraph 7, and as further provided in the General Conditions, but no event less than the individual and combined sovereign immunity limits established by Section 537.610 R.S.Mo. Insurance policies providing required coverages shall be with companies licensed to do business in the State of Missouri and rated no less than AA by Best or equivalent. All costs of obtaining and maintaining insurance coverages are included in the Bid Amount and no additional payment will be made therefor by the City.

Comprehensive General Liability Insurance (including coverage for Bodily Injury and Property Damage)	\$435,849 - any one person in a single accident or occurrence \$2,905,664 - aggregate
Comprehensive Automobile Liability Insurance (including coverage for Bodily Injury and Property Damage)	\$435,849 - any one person in a single accident or occurrence \$2,905,664 - aggregate
Employer's Liability	\$2,905,664 - bodily injury by accident (each accident) \$2,905,664 - bodily injury by disease (each employee) \$2,905,664 - bodily injury policy limit

In addition, the Contractor and all subcontractors shall provide **Worker's Compensation Insurance** in at least statutory amounts for all workers employed at the Project site.

**Before commencing any work, the Contractor shall provide to the City certificates of insurance evidencing the issuance and maintenance in force of the coverages required by this paragraph.** Each such certificate shall show the City, and such other governmental agencies as may be required by the City to be insured by underlying grant or contract relating to the Project, as an additional insured, and shall bear an endorsement precluding cancellation of or change in coverage without at least thirty (30) days written notice to the City. Any self-insurance or deductible above \$50,000.00 is not permitted.

The City may waive any insurance coverages or amounts required by this Exhibit when the City deems such waiver to be in the interest of the public health, safety, and general welfare.

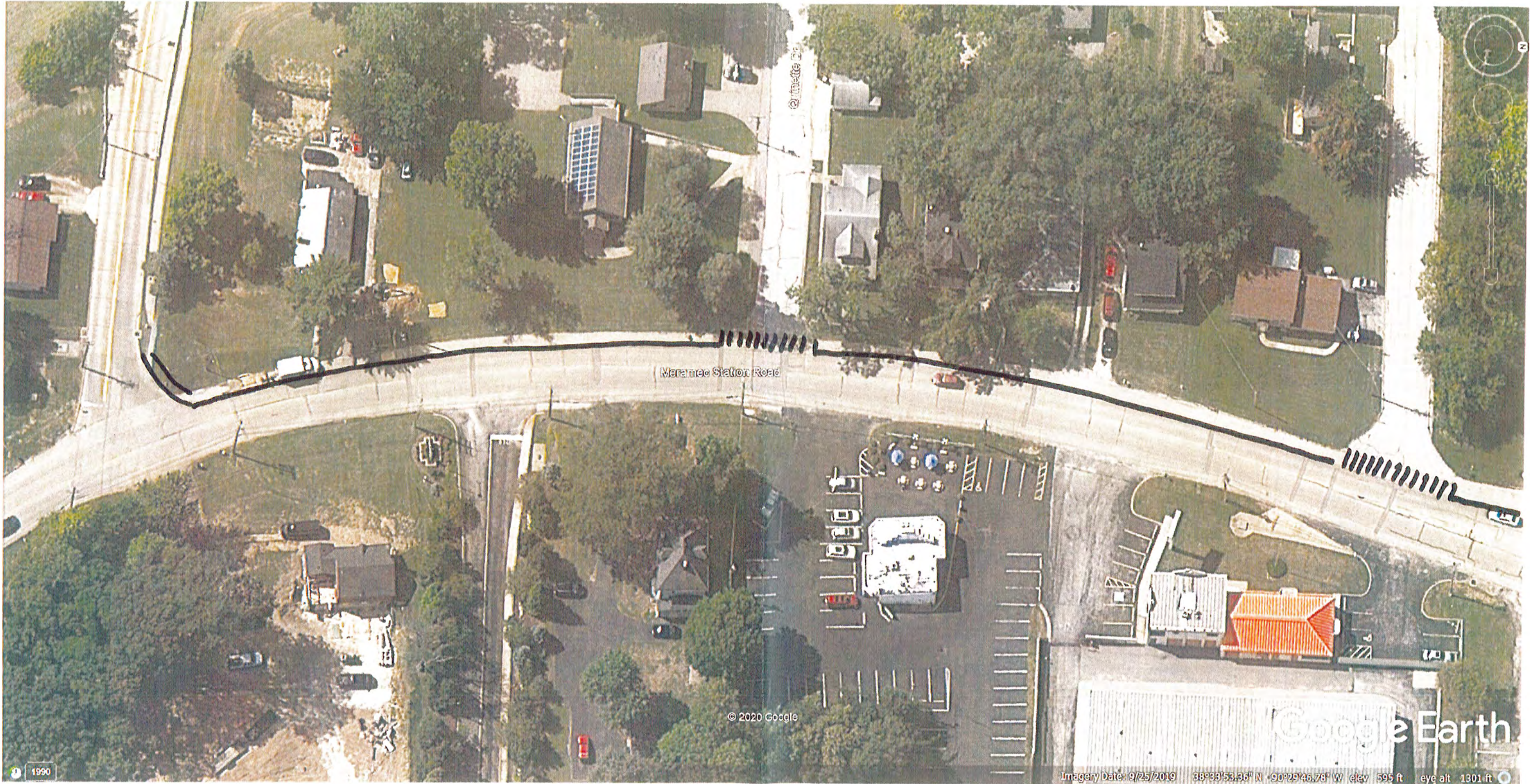


Google Earth

Imagery Date: 9/25/2019 38°33'56.69" N 90°29'46.04" W elev. 591 ft. eye alt. 1274 ft.

1990

© 2021 Google



Meramec Station Road

Carmel Dr

© 2020 Google

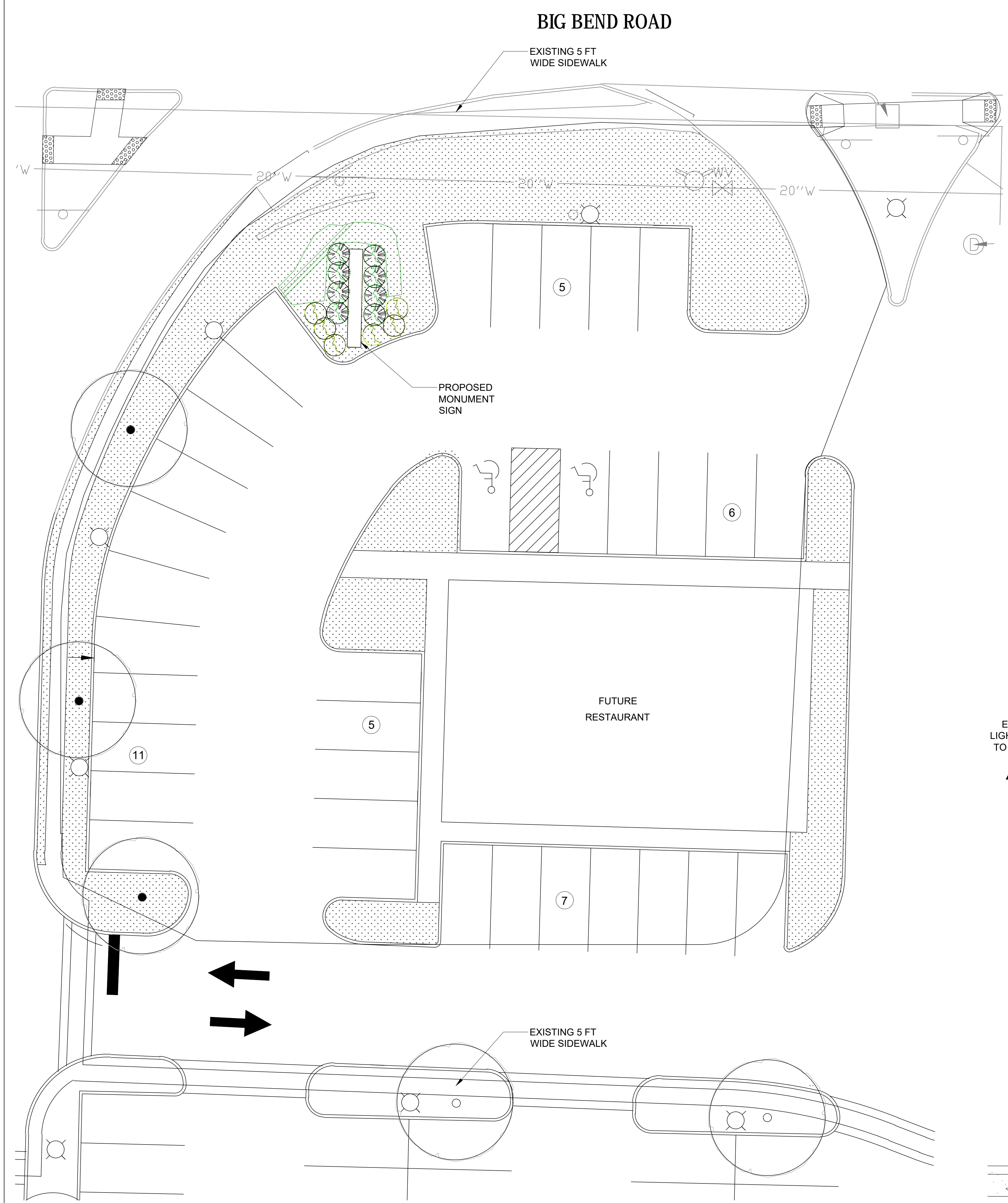
Google Earth

1990

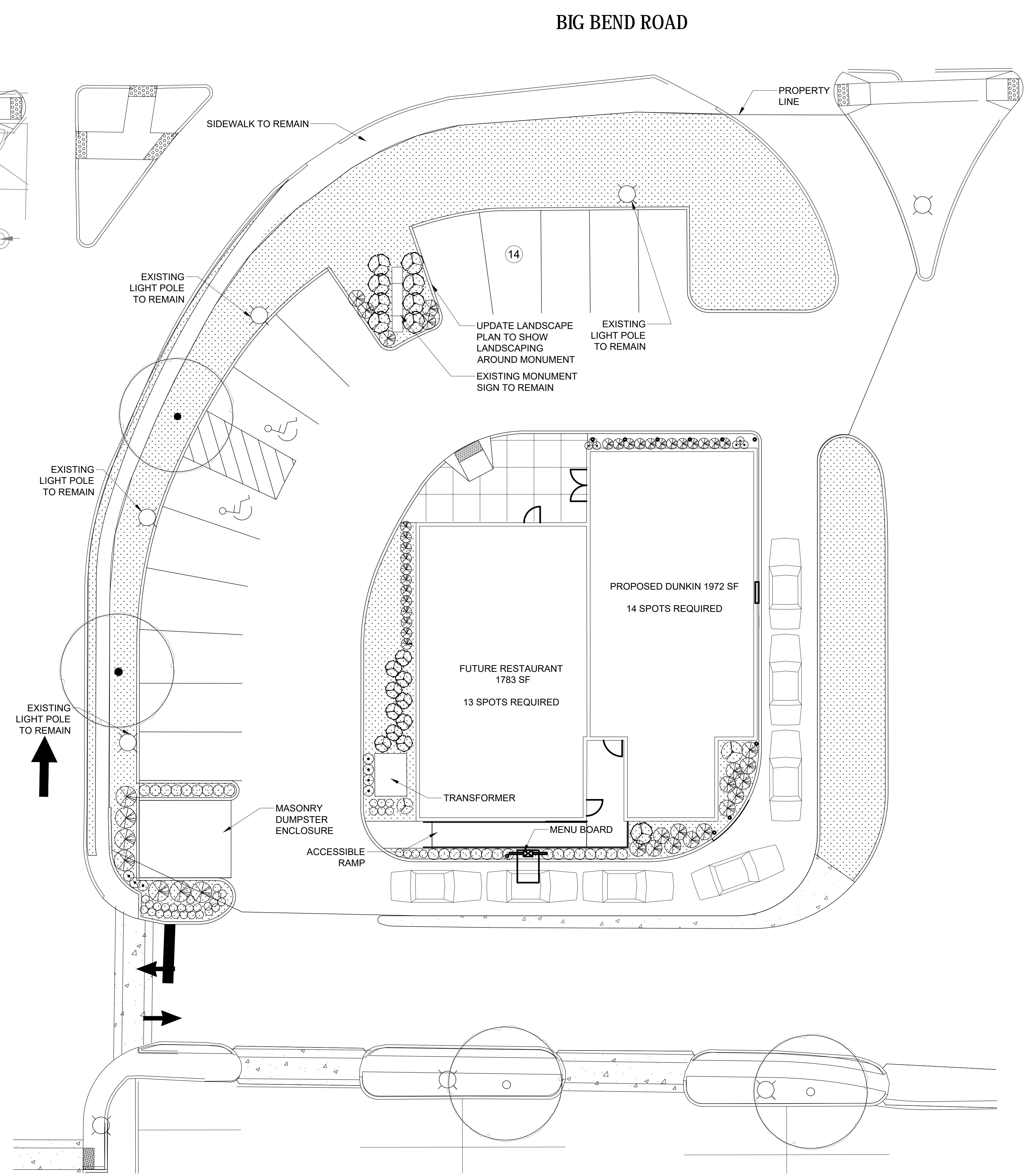
Imagery date: 9/25/2019 38°33'53.95" N -90°29'45.76" W elev 595 ft eye alt 1301 ft



DEVELOPMENT PLAN GREEN SPACE:	4,660 SQFT
PROPOSED PLAN GREEN SPACE:	5,028 SQFT
OVERALL DEVELOPMENT PARKING:	599 SPOTS / 18 ACCESSIBLE
DEVELOPMENT PLAN PARKING:	35 SPOTS / 2 ACCESSIBLE
OVERALL PROPOSED PARKING:	578 SPOTS / 18 ACCESSIBLE
PROPOSED PLAN PARKING:	14 SPOTS / 2 ACCESSIBLE
REQUIRED PARKING FOR TWO TENANT BUILDING:	27 SPOTS



**2 2018 DEVELOPMENT SITE PLAN**  
SCALE: 1" = 10'-0"



**1 PROPOSED SITE PLAN**  
SCALE: 1" = 10'-0"

**dunkin'**  
brands

**kolbrook design**

ARCHITECT  
STOCK & ASSOCIATES CONSULTING ENGINEERING  
STRUCTURAL ENGINEER  
LANDSCAPE ARCHITECT  
PAMELA SELF LANDSCAPE ARCHITECTS  
MEP ENGINEER  
NEW YORK ENGINEERS  
DEVELOPER

SEAL  
STATE OF MISSOURI  
STEVEN A. KOLBER  
NUMBER  
A-2014608361  
ARCHITECT  
EXP. 12/31/2020

PROJECT: **DD TWIN OAKS, MO**

1410 BIG BEND ROAD  
TWIN OAKS, MO 63088  
PC #: 365804

DRAWING ISSUE	DATE
DESCRIPTION FOR PERMIT	07/24/2020

DRAWN BY: WM, CD, ED  
CHECKED BY: SWB  
SHEET TITLE:

SITE COMPARISON

SHEET NO.  
**SC1.1**

Kolbrook Job No. 1940.002 Consultant Job No.

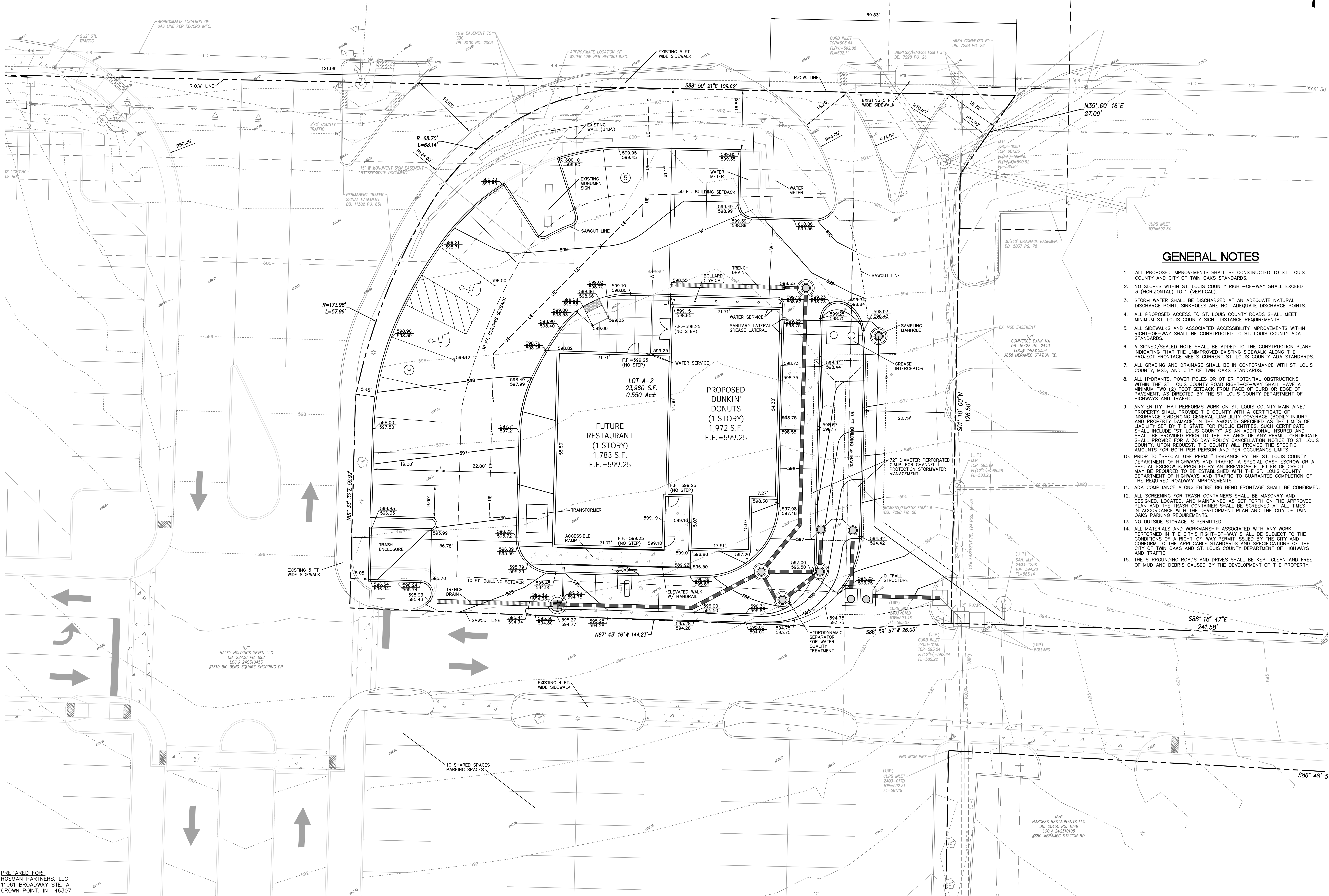
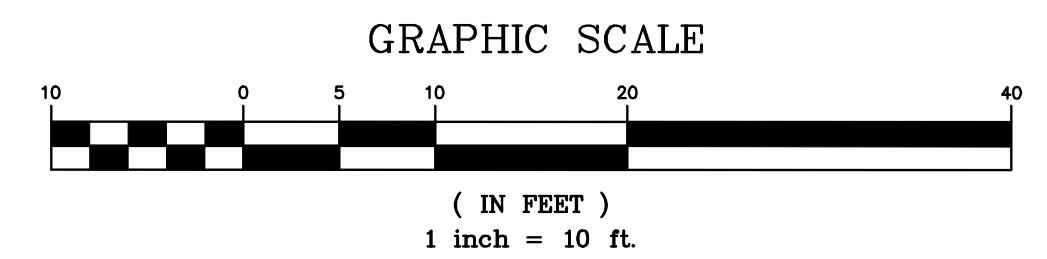
**NOTE:**  
SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD) ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP NUMBER 29189C0303K WITH AN EFFECTIVE DATE OF 02/04/2015.

**NOTE:**  
FUTURE MAINTENANCE RESPONSIBILITY FOR THE STORMWATER MANAGEMENT AREAS WILL BE THAT OF THE OWNER/OPERATOR OF THE SITE.

**PARKING:**  
**REQUIRED:**  
1 SPACE/200 S.F. = 1 SPACE/200 S.F. x 3,750 S.F. = 19 SPACES  
1 SPACE/2 EMPLOYEES = 1 SPACE/2 EMP. x 10 EMP. = 5 SPACES  
TOTAL = 24 SPACES

**PROVIDED:**  
14 SPACES ONSITE (12 STANDARD SPACES + 2 ACCESSIBLE SPACES)  
10 SHARED SPACES OFFSITE (PARKING LOT SOUTH OF BUILDING)

**COVERAGE CALCULATIONS:**  
TOTAL SITE AREA: 23,960 S.F. (0.55 Ac.)  
BUILDING: 3,750 S.F.  
SIDEWALK: 812 S.F.  
PAVEMENT: 14,115 S.F.  
GRASS: 5,278 S.F.  
PERCENT GREENSPACE:  
[5,278 / 23,960] x 100 = 22.03%



- GENERAL NOTES**
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY AND CITY OF TWIN OAKS STANDARDS.
  - NO SLOPES WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL).
  - STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
  - ALL PROPOSED ACCESS TO ST. LOUIS COUNTY ROADS SHALL MEET MINIMUM ST. LOUIS COUNTY SIGHT DISTANCE REQUIREMENTS.
  - ALL SIDEWALKS AND ASSOCIATED ACCESSIBILITY IMPROVEMENTS WITHIN RIGHT-OF-WAY SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY ADA STANDARDS.
  - A SIGNED/SEALED NOTE SHALL BE ADDED TO THE CONSTRUCTION PLANS INDICATING THAT THE UNIMPROVED EXISTING SIDEWALK ALONG THE PROJECT FRONTAGE MEETS CURRENT ST. LOUIS COUNTY ADA STANDARDS.
  - ALL GRADING AND DRAINAGE SHALL BE IN CONFORMANCE WITH ST. LOUIS COUNTY, MSD, AND CITY OF TWIN OAKS STANDARDS.
  - ALL HYDRANTS, POWER POLES OR OTHER POTENTIAL OBSTRUCTIONS WITHIN THE ST. LOUIS COUNTY ROAD RIGHT-OF-WAY SHALL HAVE A MINIMUM TWO (2) FOOT SETBACK FROM FACE OF CURB OR EDGE OF PAVEMENT, AS DIRECTED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC.
  - ANY ENTITY THAT PERFORMS WORK ON ST. LOUIS COUNTY MAINTAINED PROPERTY SHALL PROVIDE THE COUNTY WITH A CERTIFICATE OF INSURANCE EVIDENCING GENERAL LIABILITY COVERAGE (BODILY INJURY AND PROPERTY DAMAGES) IN THE AMOUNTS SPECIFIED AS THE LIMITS OF LIABILITY SET BY THE STATE FOR PUBLIC ENTITIES. SUCH CERTIFICATE SHALL INCLUDE "ST. LOUIS COUNTY" AS AN ADDITIONAL INSURED AND SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF ANY PERMIT. CERTIFICATE SHALL PROVIDE FOR A 30 DAY POLICY CANCELLATION NOTICE TO ST. LOUIS COUNTY. UPON REQUEST, THE COUNTY WILL PROVIDE THE SPECIFIC AMOUNTS FOR BOTH PER PERSON AND PER OCCURRENCE LIMITS.
  - PRIOR TO "SPECIAL USE PERMIT" ISSUANCE BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW OR A SPECIAL ESCROW SUPPORTED BY AN IRREVOCABLE LETTER OF CREDIT, MAY BE REQUIRED TO BE ESTABLISHED WITH THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC TO GUARANTEE COMPLETION OF THE REQUIRED ROADWAY IMPROVEMENTS.
  - ADA COMPLIANCE ALONG ENTIRE BIG BEND FRONTAGE SHALL BE CONFIRMED.
  - ALL SCREENING FOR TRASH CONTAINERS SHALL BE MASONRY AND DESIGNED, LOCATED, AND MAINTAINED AS SET FORTH ON THE APPROVED PLAN AND THE TRASH CONTAINER SHALL BE SCREENED AT ALL TIMES IN ACCORDANCE WITH THE DEVELOPMENT PLAN AND THE CITY OF TWIN OAKS PARKING REQUIREMENTS.
  - NO OUTSIDE STORAGE IS PERMITTED.
  - ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH ANY WORK PERFORMED IN THE CITY'S RIGHT-OF-WAY SHALL BE SUBJECT TO THE CONDITIONS OF A RIGHT-OF-WAY PERMIT ISSUED BY THE CITY AND CONFORM TO THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF TWIN OAKS AND ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC.
  - THE SURROUNDING ROADS AND DRIVES SHALL BE KEPT CLEAN AND FREE OF MUD AND DEBRIS CAUSED BY THE DEVELOPMENT OF THE PROPERTY.

AMENDED FINAL DEVELOPMENT PLAN  
**DD TWIN OAKS, MO**  
1410 BIG BEND ROAD  
TWIN OAKS, MISSOURI  
63088



07/24/20  
GEORGE M. STOCK E-25116  
CIVIL ENGINEER  
CERTIFICATE OF AUTHORITY  
NUMBER: 00096

**REVISIONS:**

1	City Comments	07/24/20
---	---------------	----------

DRAWN BY: E.J.F.    CHECKED BY: G.M.S.  
 DATE: 06/29/20    JOB NO.: 220-6786  
 SSD #    BASE MAP #  
 SLC REF #    HRT SUP #  
 MGR #    NO-00  
 SHEET TITLE:  
 AMENDED FINAL DEVELOPMENT PLAN  
 SHEET NO.: **C1**

PREPARED FOR:  
ROSANI PARTNERS, LLC  
11061 BROADWAY STE. A  
CROWN POINT, IN 46307

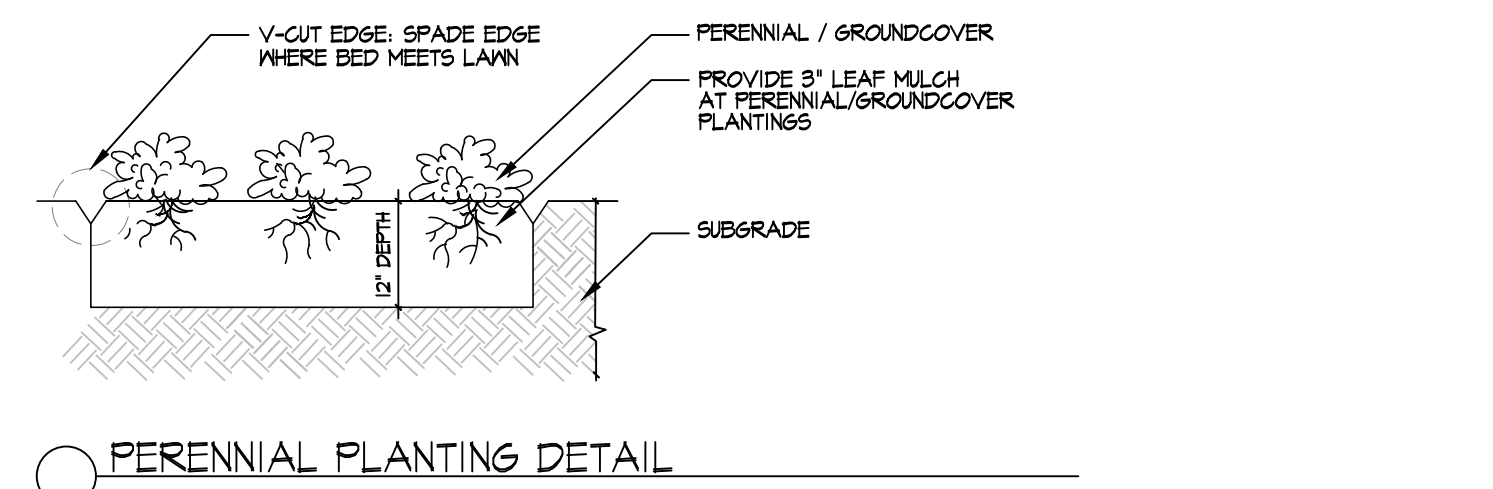
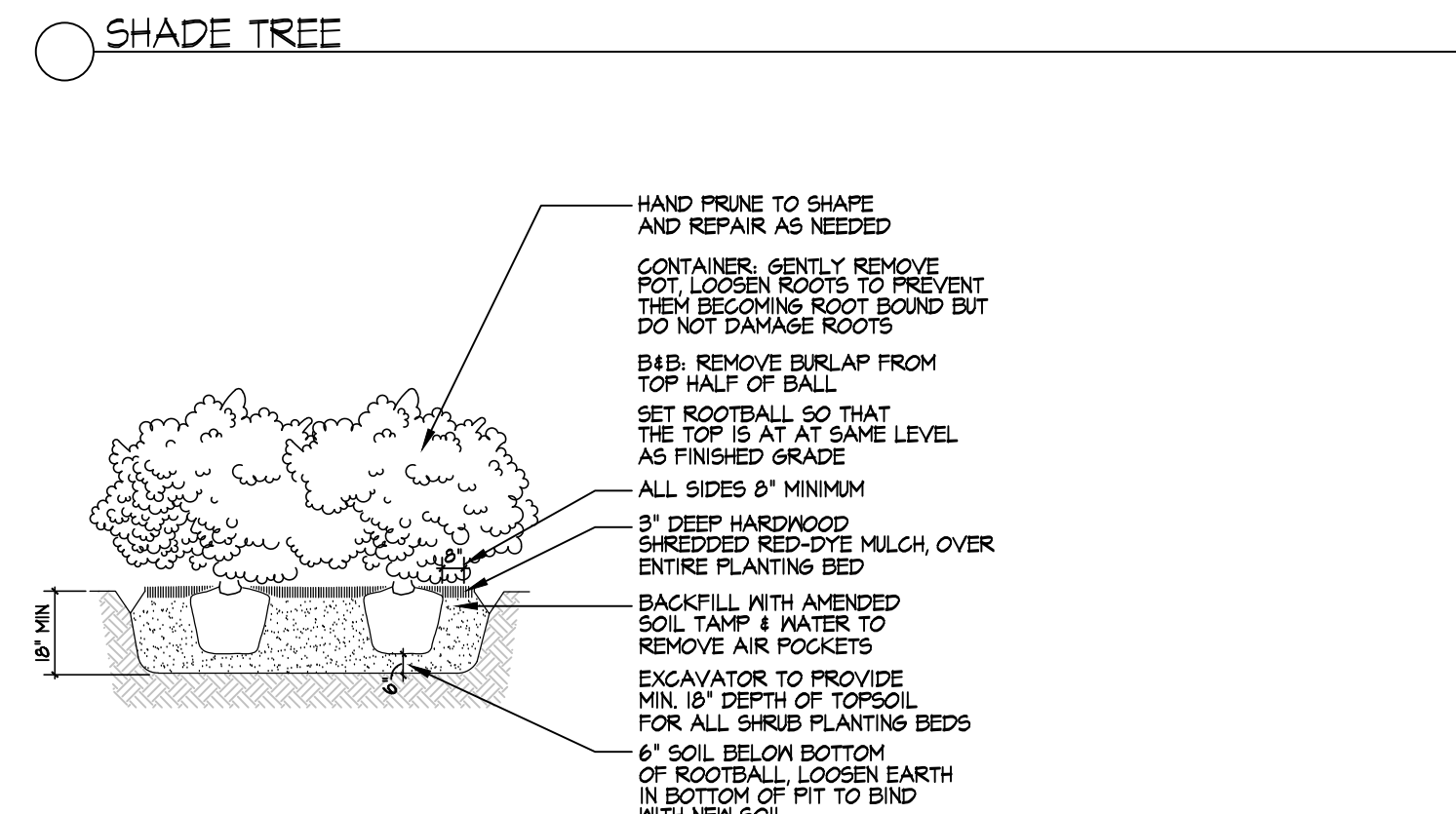
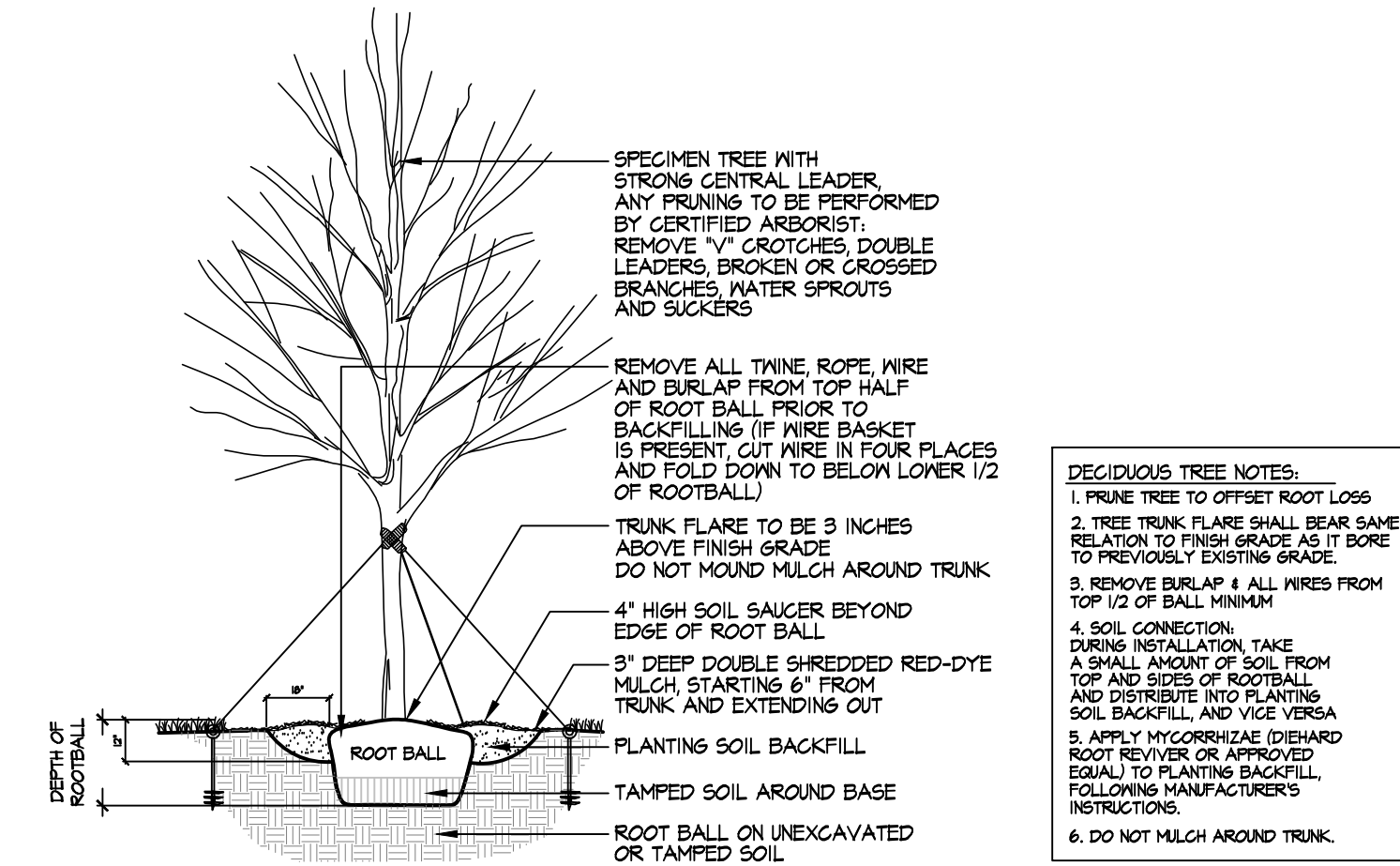
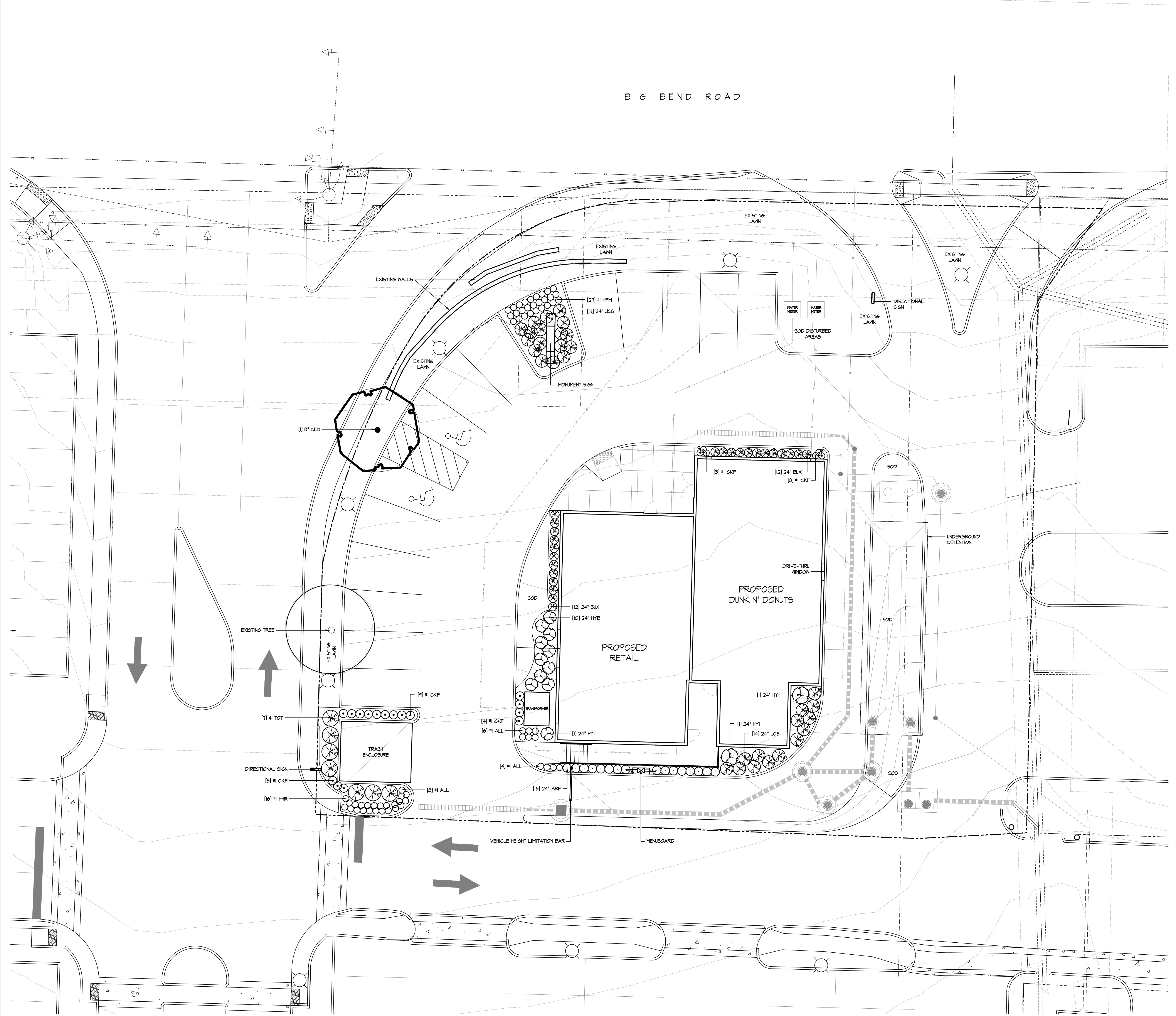
N/E  
HALEY HOLDINGS SEVEN LLC  
DB: 22430 PG. 692  
LOC # 240370453  
#310 BIG BEND SQUARE SHOPPING DR.

N/E  
HARDEES RESTAURANTS LLC  
DB: 20450 PG. 1849  
LOC # 240370108  
#850 MERAMEC STATION RD.

257 Chesterfield Business Parkway  
St. Louis, MO 63005  
PH: (636) 530-8000  
FAX: (636) 530-8000  
E-mail: general@stockandassociates.com  
Web: www.stockandassociates.com

**STOCK & ASSOCIATES**  
Consulting Engineers, Inc.

BIG BEND ROAD



- LANDSCAPE NOTES**
- In general, contractor should become familiar with the site and with scope of work prior to the submission of bid proposal and should notify Landscape Architect (LA) and/or owner of any discrepancies between the drawings and existing site conditions.
  - Bid Proposal shall show unit prices and quantities for all items shown on this drawing.
  - Contractor shall follow and conform to the City of Twin Oaks, MO building codes.
  - Job site safety and means and methods of construction are the responsibility of the Contractor.
  - Contractor shall excavate and dispose of excavated materials off site.
  - Contractor shall be responsible for any damage to buildings or site as a result of executing the work which is part of this contract or additional work which may be added to this contract at a later date.
  - Site shall be kept clean at all times and shall be thoroughly cleaned at the end of each working day.
  - Driveways shall be unobstructed at all times and consideration for the neighboring properties maintained.
  - Determine and verify exact locations of all underground utilities in the field before work begins.
  - Plants and other materials are quantified and summarized for the convenience of the owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn.
  - Landscape Architect not responsible for installation permits unless otherwise noted.
  - Determine subsoil conditions and subsurface drainage requirements of all plant material.
  - Retainage: Contractor shall clear existing plant material and weeds as needed where new planting is provided per plan. New topsoil shall be provided and/or amended as needed to fine grade planting areas.
  - Topsoil: Any new topsoil shall be fertile, pulverized, friable, natural loam, surface soil, free of subsoil, clay lumps, brush, weeds, stones larger than 1" in any dimension and other extraneous or toxic matter harmful to plant growth. Soil shall have acidity range of pH 5.7, not less than 3% humus as determined by loss on ignition of moisture free samples dried at 100 degrees centigrade, less than 60% of material passing VSS #100 sieve consists of clay by dried weights of material.
  - Amend Existing Soil: Amend existing soil in all planting beds. Amended soil shall be 25% soil conditioner, 25% clean sand and 50% existing soil. Rotolite amendments into planting beds.
  - Plant Material: The Landscape Architect reserves the right to personally select any or all nursery stock prior to digging. All plant material shall bear the same relationship to the new grade as they bore to the previous (nursery) grade. Comply with sizing and grading standards of the latest edition "American Standard for Nursery Stock". All plants are subject to inspection by the Landscape Architect at the job site or nursery. Appearance or relationship to each other or adjacent structures. Do not fit around trunks or stems. Do not use frozen or muddy mulch for backfilling. Supply a minimum of 12" of soil mix on all sides of rootballs for trees and shrubs unless otherwise noted. Plant groundcover and perennials and tamp down soil around pot so pot does not heave in frost. Water in before applying mulch. Do not cover foliage with mulch. Balled roots shall be protected from drying out and care taken to prevent the ball from freezing.
  - Mulch: Provide 3" loose measure of mulch throughout all planting areas excluding groundcover beds. Mulch to be 6 month old, well rotted, shredded, hardwood bark mulch, not larger than 4" in length and 1/2" in width, free of wood chips and sawdust.
  - Irrigation: Provide automatic irrigation system for all new plantings.
  - Sod: Supply and install new bluegrass blend sod as shown on plan. Place sod on min. 4" depth rolled, fine graded, pulverized topsoil. Guarantee new sod for 30 days. Time delivery of sod so that sod will be placed within 24 hours after shipping. Protect sod against drying and breaking of rolled strips. If new sod is laid late in the Fall, the guarantee shall be extended into the Spring of the next growing season.
  - Repair Disturbed Areas: All disturbed areas shall be repaired and fine graded and topdressed with a minimum 4" depth, rolled, pulverized topsoil. All excess soil not used in repair of disturbed areas shall be removed from site. Sod all repaired areas.
  - Bed Edge: Spade edge where bed meets lawn if no edging is installed.
  - Upon completion of all landscape work, the LC shall notify the LA and owner for approval and acceptance. LC shall guarantee all work and plant material for a minimum of one year, after acceptance by the LA and owner, of completed landscape work.

**PLANT LIST**

KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
SHADE TREES					
KEY					
CEO	1	3"	<i>Cornus occidentalis</i>	Common Hockberry	Specimen, symmetrical
SHRUBS					
KEY					
ARM	16	24"	<i>Aronia melanocarpa</i> 'CONNAMES'	Low Spine Chokeberry	Full branching to ground
BUX	24	24"	<i>Buxus x 'Spring Velvet'</i>	Green Velvet Boxwood	Full branching to ground
HYB	10	24"	<i>Hydrangea paniculata</i> 'Bobo'	Bobo Hydrangea	Full branching to ground
HY1	12	24"	<i>Hydrangea arborescens</i> 'Alabaster'	Individual Hydrangea	Full branching to ground
JCS	31	24"	<i>Juncus chinensis</i> var. 'sargentii'	Sargent Juniper	Full branching to ground
TOT	7	4"	<i>Thuja occidentalis</i> 'Technyl'	Mission Arborvitae	Full branching to ground
PERENNIALS AND ORNAMENTAL GRASSES					
KEY					
ALL	15	#	<i>Allium Millenium</i>	Millenium Allium	Container
CKF	22	#	<i>Galatragrostis x a. 'Karl Foerster'</i>	Feather Reed Grass	Container
HRR	16	#	<i>Hemerocallis 'Happy Returns'</i>	Happy Returns Daylily	Container
HPM	27	#	<i>Hemerocallis 'Pardon Me'</i>	Pardon Me Daylily	Container

**LANDSCAPE PLAN**  
SCALE: 1" = 10'-0"  
0 5' 10' 15' 20' 30'

**dunkin'**  
brand

**kolbrook design**  
908 DAVIS ST. SUITE 300  
EVANSTON, IL 60201  
OFFICE: 847.492.1950 | FAX: 312.453.8699

ARCHITECT  
**Pamela Self Landscape Architecture**

CIVIL ENGINEER  
STOCK & ASSOCIATES CONSULTING ENGINEERS

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT  
NEW YORK ENGINEERS

MEP ENGINEER  
NEW YORK ENGINEERS

DEVELOPER

SEAL

**DD Twin Oaks, MO**

1410 Big Bend Road  
Twin Oaks, MO 63088  
PC#: 355804

PROJECT:

ISSUING DATE	DESCRIPTION	DATE
FOR REVIEW		07.20.20
PER COMMENTS		07.27.20

DRAWN BY: KWS  
CHECKED BY: PMS  
SHEET TITLE

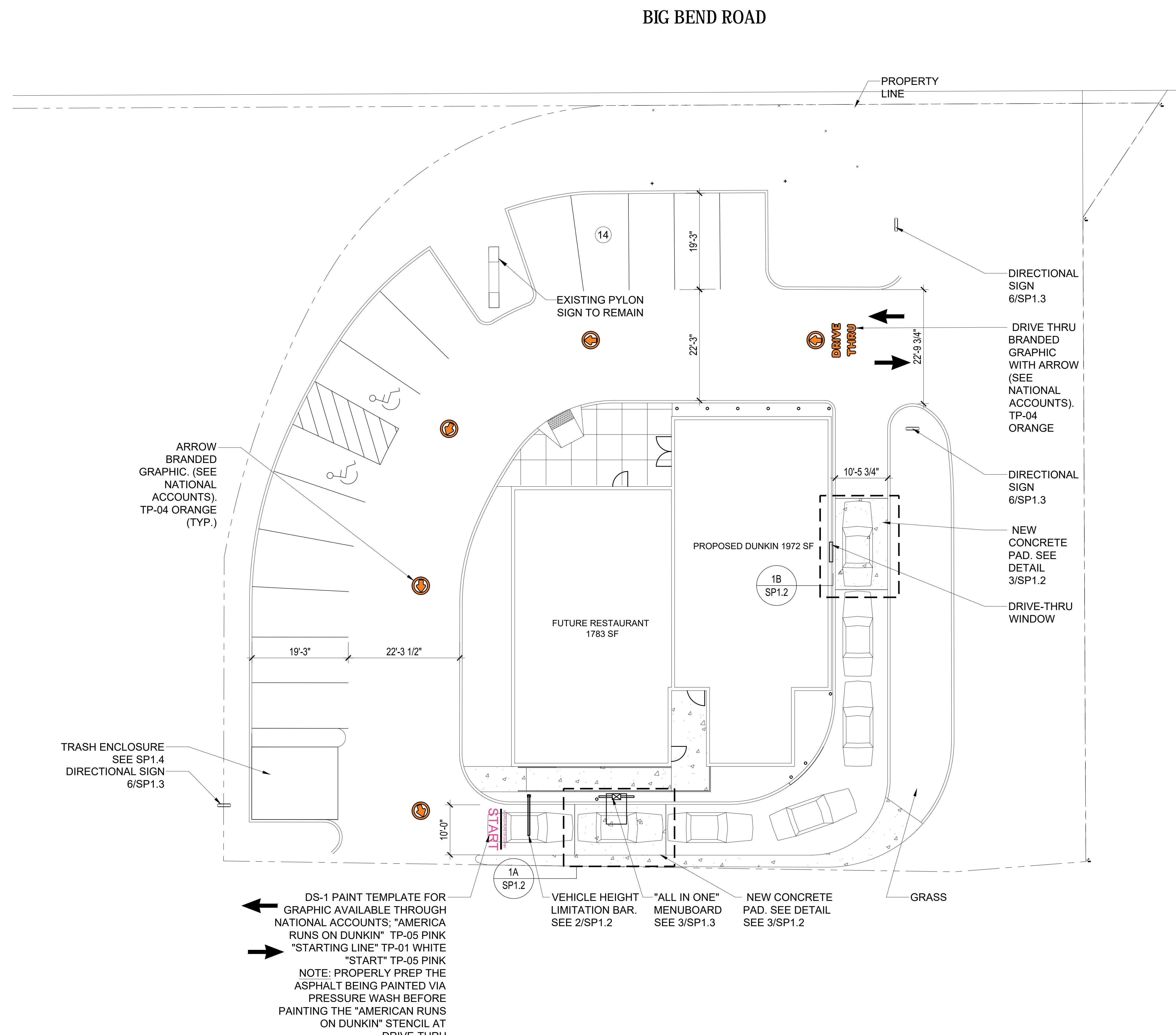
LANDSCAPE PLAN

SHEET NO.  
**LP1.1**

Kolbrook Job No. 1640.002 Consultant Job No.

**FINISH MATERIAL SCHEDULE - Traffic Striping Paint**

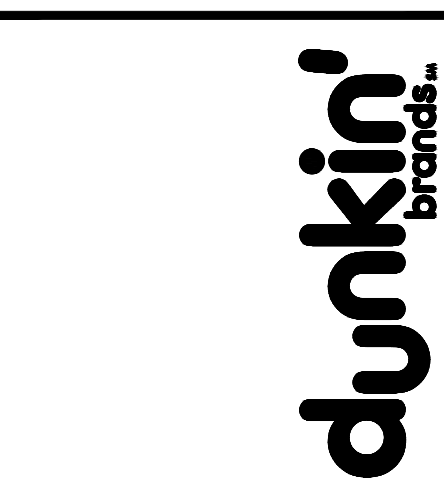
CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS
TP-01	PAINT	SHERWIN WILLIAMS	Pro Park	"White": B97WD2434
TP-02	PAINT	SHERWIN WILLIAMS	Pro Park	"Blue": B97LD2022
TP-03	PAINT	SHERWIN WILLIAMS	Pro Park	"Yellow": B97YD2467
TP-04	PAINT	SHERWIN WILLIAMS	Pro Park	"Orange": Custom Mix B97YD2467 CCE* Colorant 0Z 32 64 128 W1-White - 6 1 --- R4-New red 4 53 1 --- Y3-Deep Gold - 06 - 1
TP-05	PAINT	SHERWIN WILLIAMS	Pro Park	"Pink": Custom Mix B97RD2012 CCE* Colorant 0Z 32 64 128 W1-White 6 -- -- -- L1-Blue - 6 -- --



DS-1 PAINT TEMPLATE FOR GRAPHIC AVAILABLE THROUGH NATIONAL ACCOUNTS; "AMERICA RUNS ON DUNKIN" TP-05 PINK "STARTING LINE" TP-01 WHITE "START" TP-05 PINK  
 NOTE: PROPERLY PREP THE ASPHALT BEING PAINTED VIA PRESSURE WASH BEFORE PAINTING THE "AMERICAN RUNS ON DUNKIN" STENCIL AT DRIVE-THRU

**1 SCHEMATIC SITE PLAN**  
 SCALE: 1" = 20'-0"

SPACE INTENTIONALLY LEFT BLANK FOR CITY APPROVAL / STAMPS



**kolbrook design**  
 ARCHITECT  
 800 PINE ST. SUITE 200  
 EVANSTON, IL 60201  
 OFFICE: 847.482.1961 | FAX: 312.453.9899

CIVIL ENGINEER  
 STOCK & ASSOCIATES CONSULTING ENGINEERING  
 STRUCTURAL ENGINEER  
 LANDSCAPE ARCHITECT  
 PAMELA SELF LANDSCAPE ARCHITECTS  
 MEP ENGINEER  
 NEW YORK ENGINEERS  
 DEVELOPER



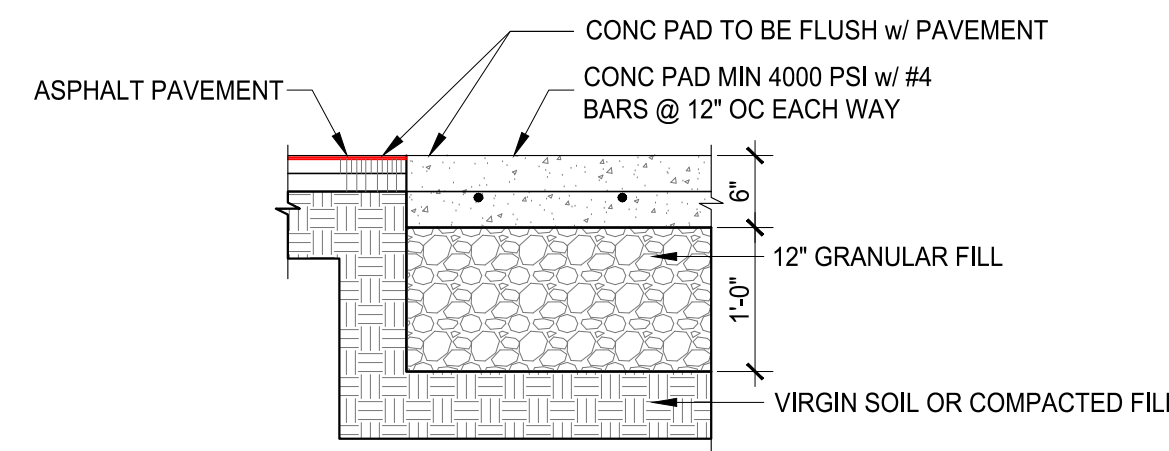
**DD TWIN OAKS, MO**  
 PROJECT:  
 1410 BIG BEND ROAD  
 TWIN OAKS, MO 63088  
 PC # 365804

DRAWING ISSUE	DATE
DESCRIPTION FOR PERMIT	07/24/2020

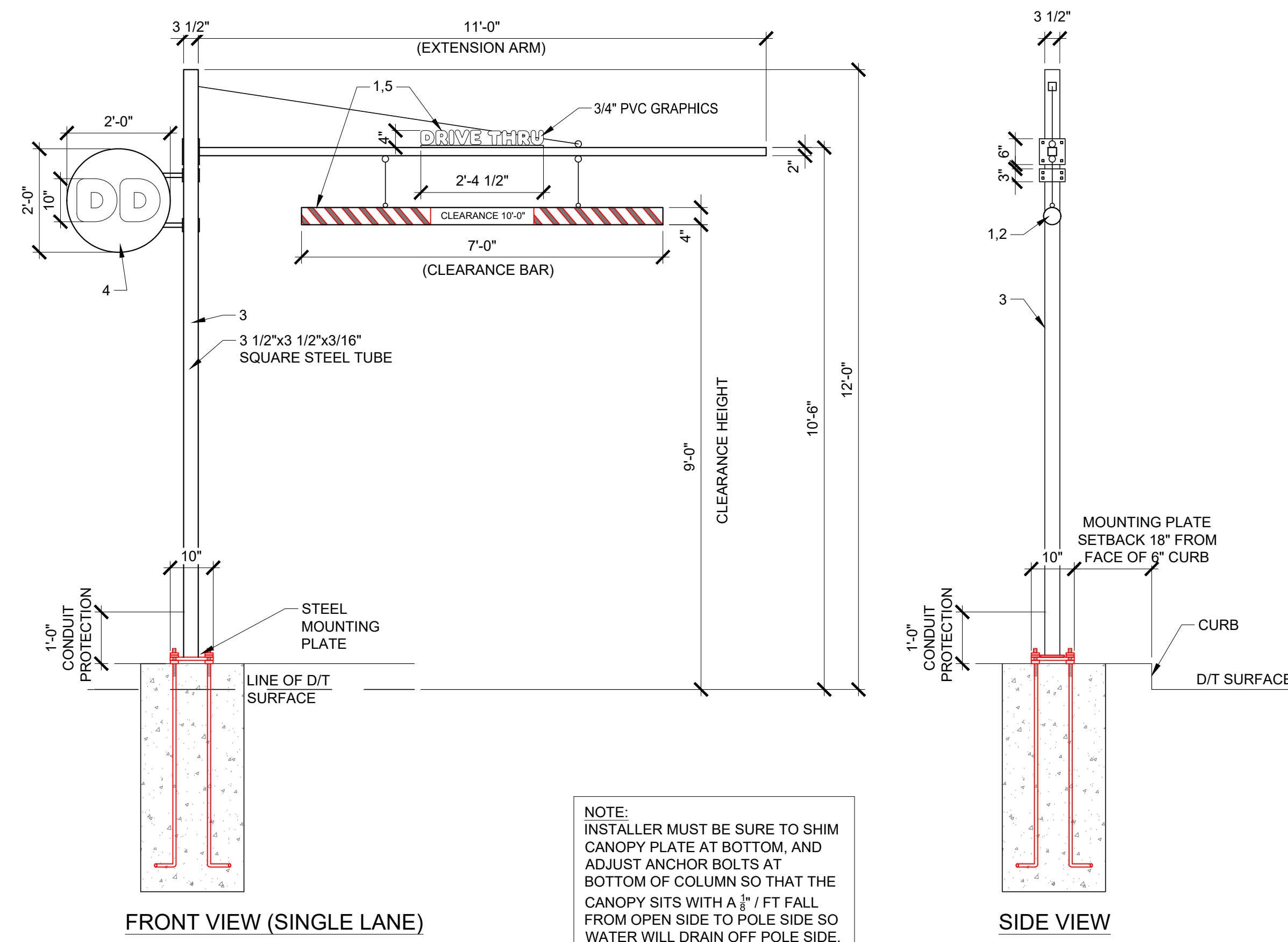
SCHEMATIC SITE PLAN & SIGN ELEVATION

**SP1.1**





**3 TYPICAL SECTION @ CONCRETE PAD**  
SCALE: 3/4" = 1'-0"



NOTE:  
INSTALLER MUST BE SURE TO SHIM CANOPY PLATE AT BOTTOM, AND ADJUST ANCHOR BOLTS AT BOTTOM OF COLUMN SO THAT THE CANOPY SITS WITH A 1\"/>

**NON-ILLUMINATED DRIVE-THRU STRUCTURE**

- NOTES:
1. PAINT TO MATCH ORANGE PMS 165C, GLOSS FINISH.
  2. PAINT TO MATCH PINK PMS 219C, GLOSS FINISH.
  3. PAINT TO MATCH PMS COOL GRAY 1C, GLOSS FINISH.
  4. OPTIONAL 24" x 24" MEDALLION SIGN WITH REMOVABLE / ADJUSTABLE PLATES, SINGLE SIDED VINYL.
  5. OPTIONAL REFLECTIVE FILM: 3M IJ880CR-10 SCOTCHLITE REFLECTIVE MCS (LATEX OR SOLVENT INKS) 8519 LUSTER PROTECTIVE LAMINATE PRINTED TO MATCH.
- PMS 165 DUNKIN' ORANGE
  - PMS 219 DUNKIN' PINK
  - PMS 7540C DUNKIN' GRAY
  - PMS COOL GRAY 1C

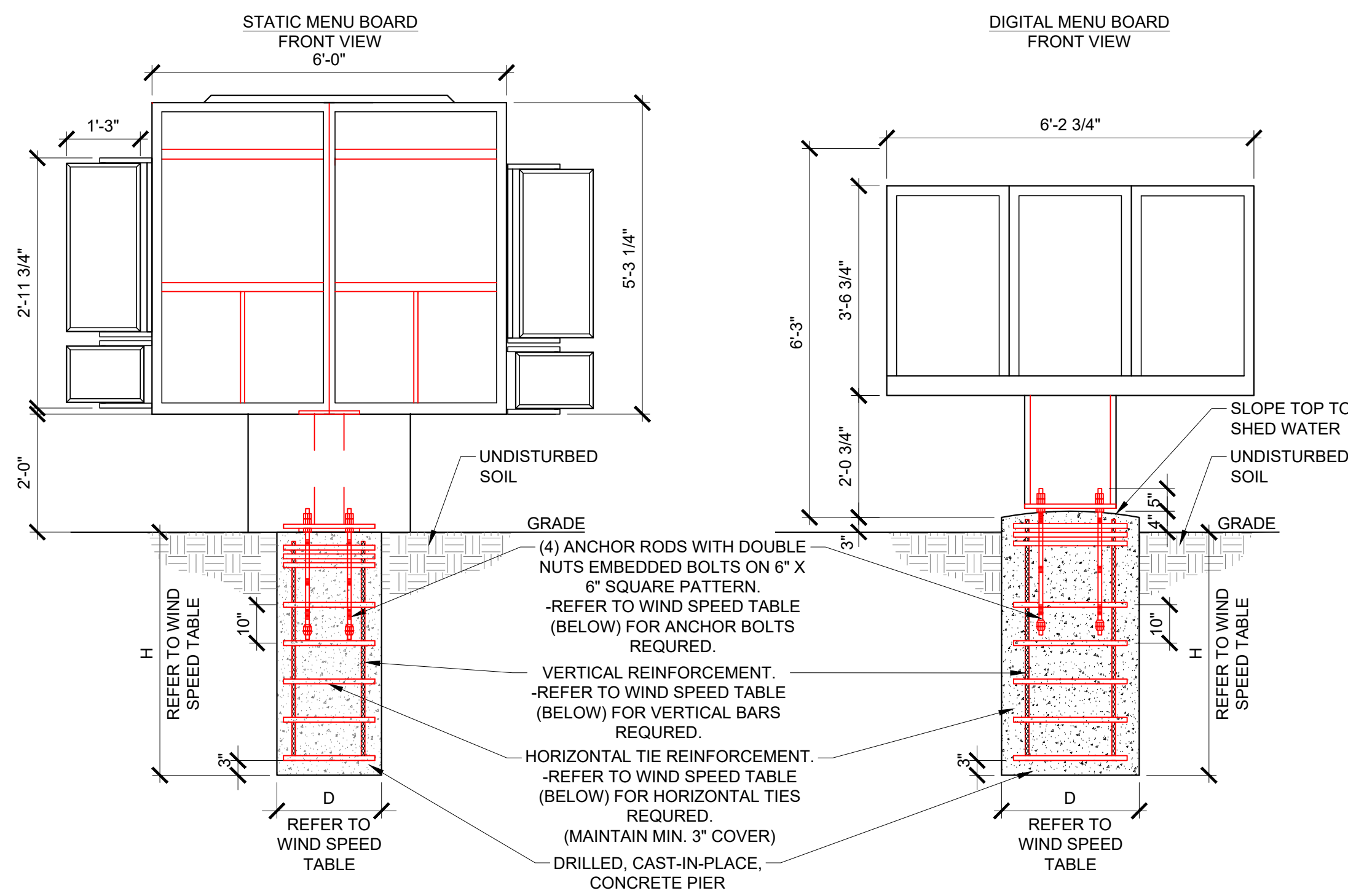
**COLORS:**

PMS	VINYL/PAINT
PMS 165 DD ORANGE	TRANS 3M #3630-3123
PMS 219 DD PINK	TRANS 3M #3630-1379
PMS 7540C DD GRAY	TRANS 3M #7725-41
PMS COOL GRAY 1C	TRANS 3M #7725-11

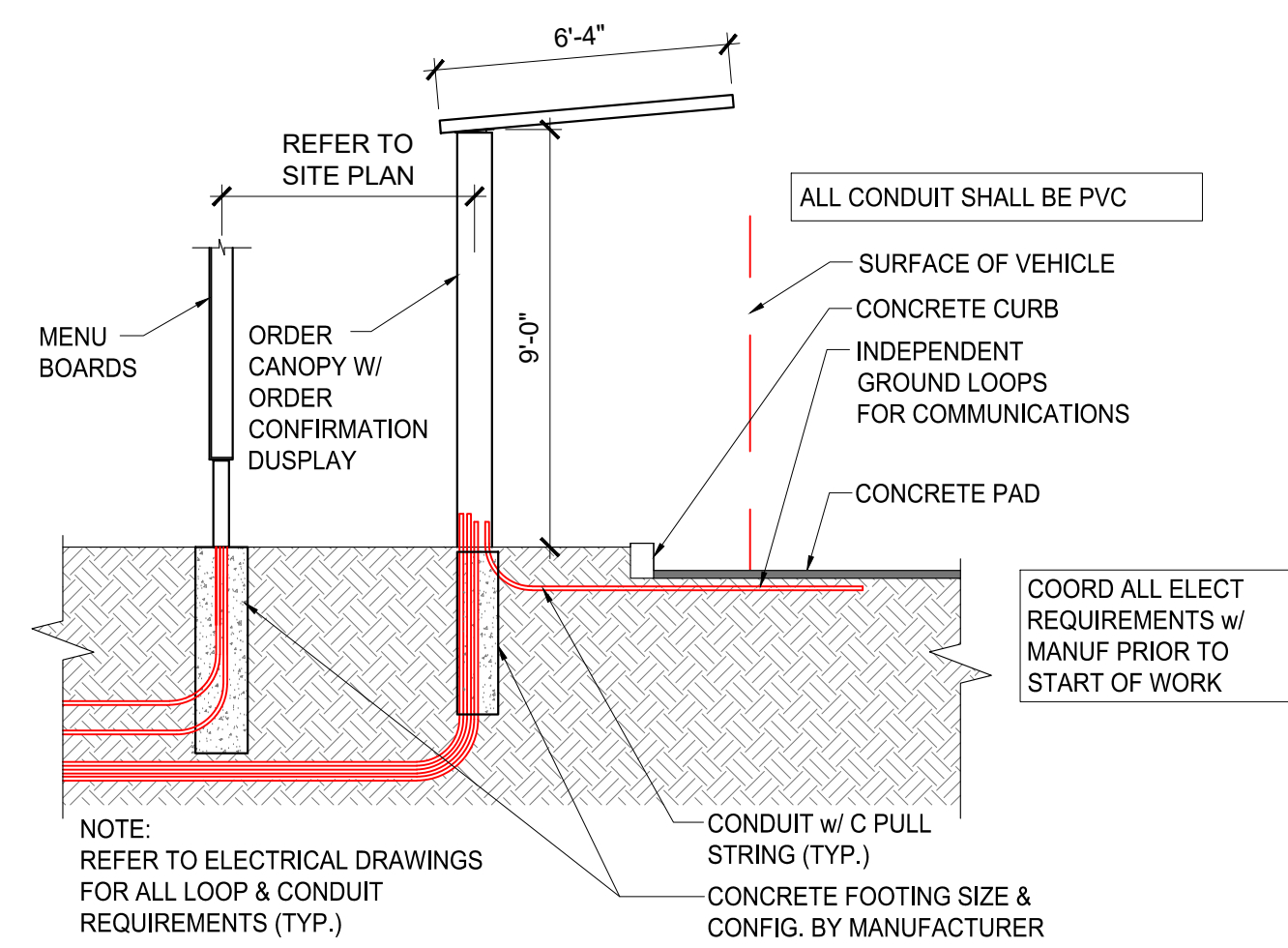
NOTE:  
SEE DUNKIN' BRANDS WEBSITE: <http://extranet.dunkinbrands.com>, FOR COMPLETE INFORMATION AND DETAILS

ADDITIONAL NOTES:

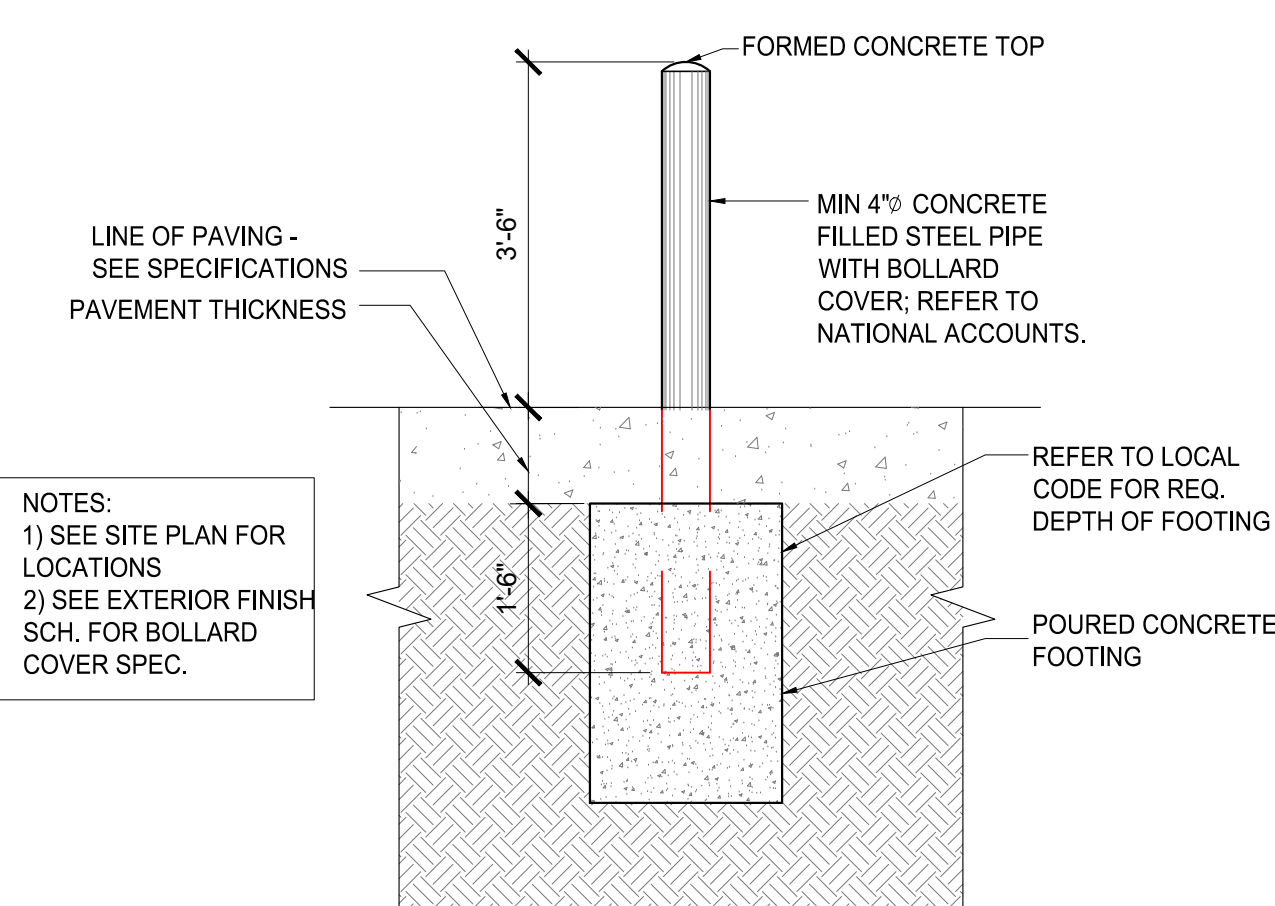
- ARTWORK FONT: DUNKIN SANS DISPLAY
- 120 VOLT CIRCUIT, TO BE CONFIRMED BY SITE
- CLEARANCE TO BE CONFIRMED BY SITE



**6 DRIVE THRU MENU BOARD FOUNDATION DETAIL**  
SCALE: 1/2" = 1'-0"

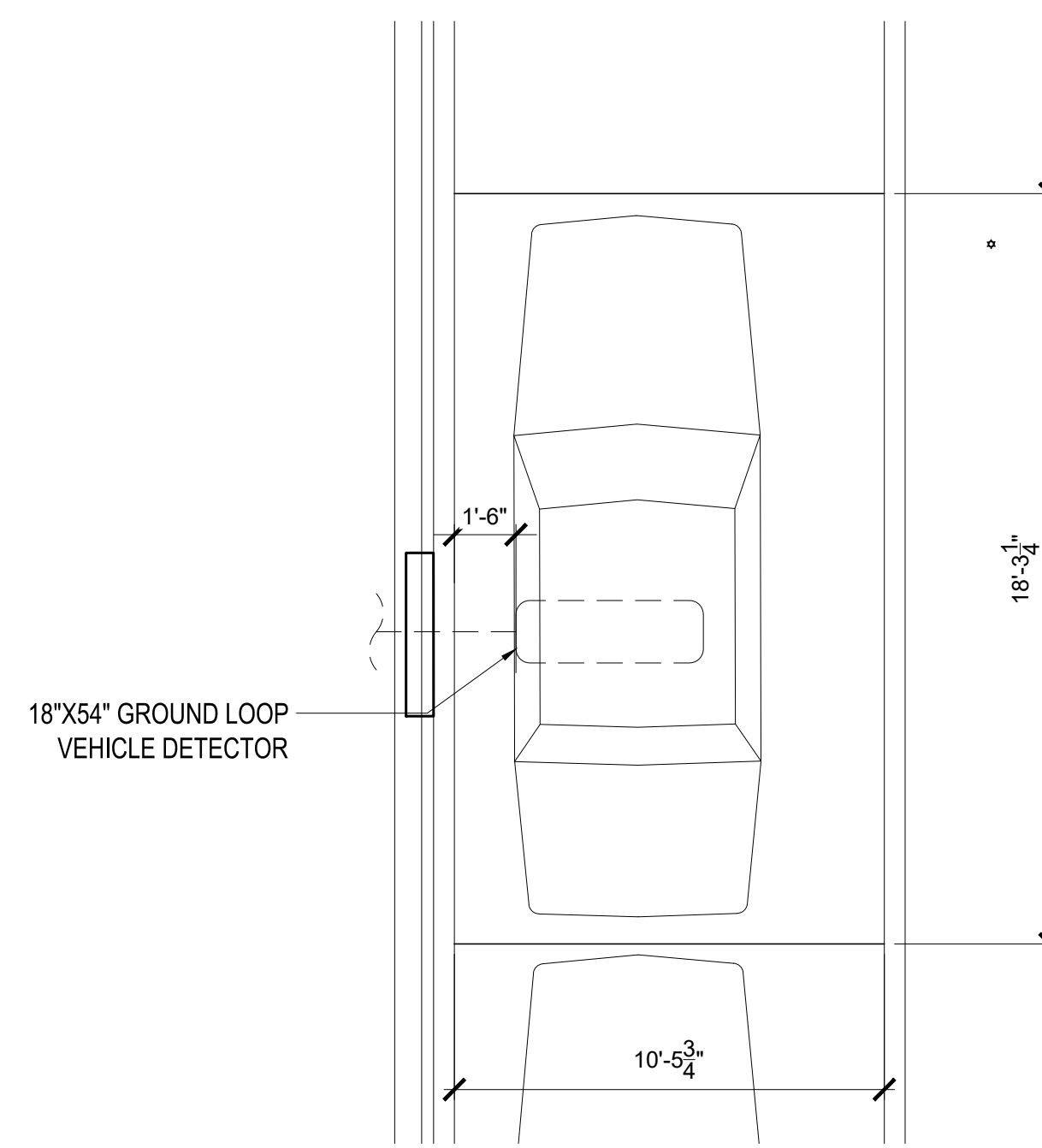


**5 DRIVE THRU MENU SECTION**  
SCALE: 1/4" = 1'-0"

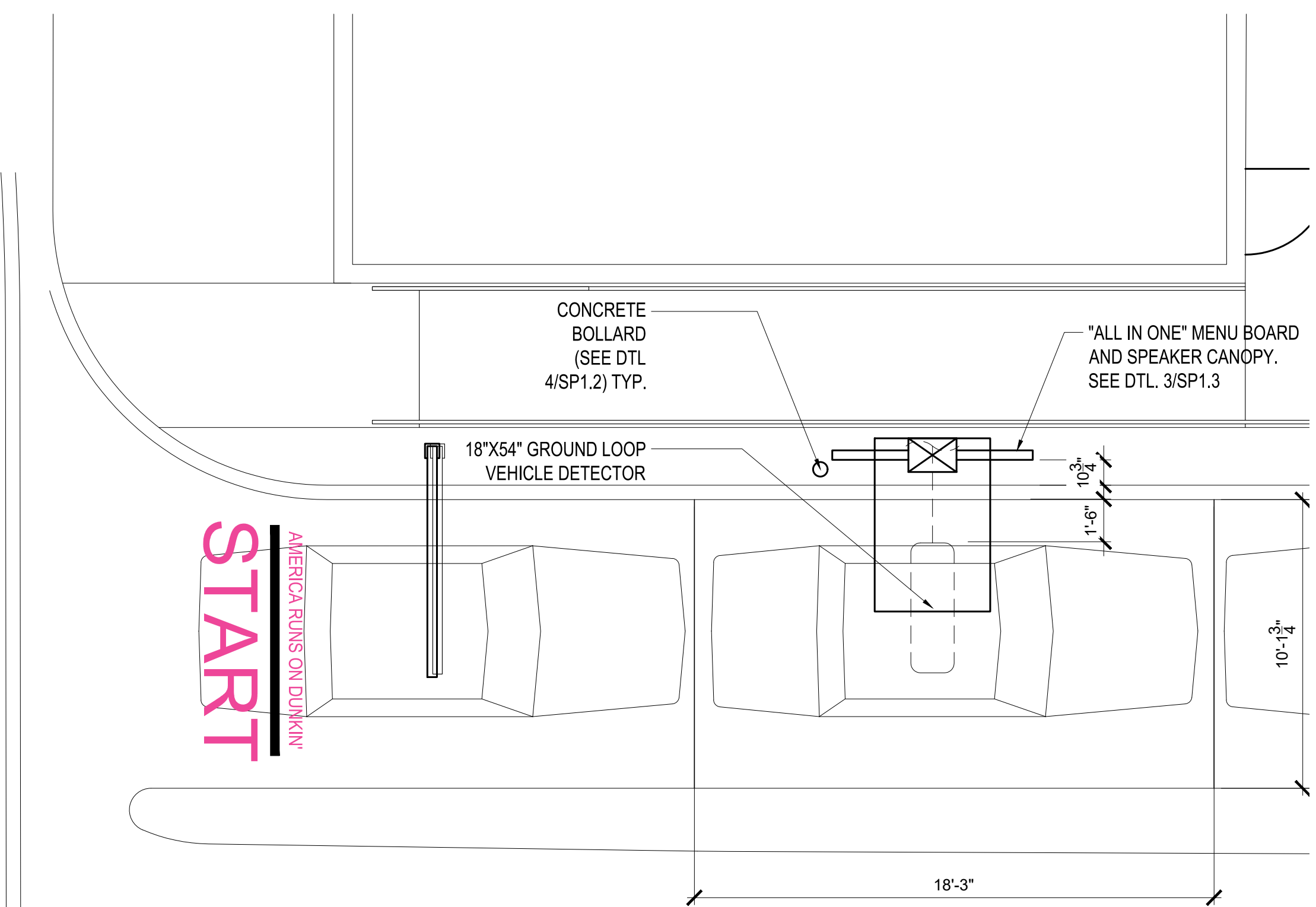


**4 BOLLARD DETAIL**  
SCALE: 1/4" = 1'-0"

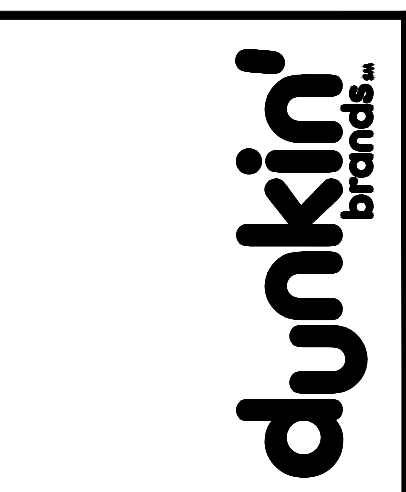
**2 HEIGHT LIMITATION BAR**  
SCALE: 1/2" = 1'-0"



**1B DRIVE-THRU WINDOW**  
SCALE: 1/4" = 1'-0"

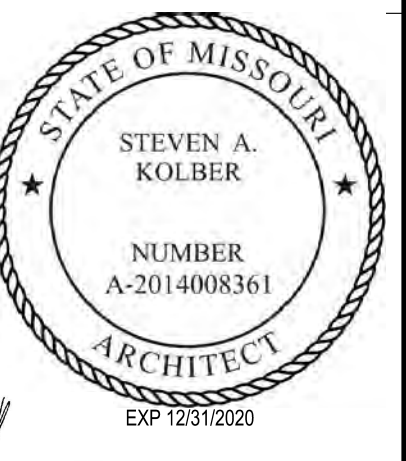


**1A DRIVE THRU MENU LAYOUT**  
SCALE: 1/4" = 1'-0"



**kolbrook design**  
ARCHITECT  
200 PINE ST. SUITE 200  
EASTON, IL 60120  
OFFICE: 847.482.1961 | FAX: 312.453.8699

CIVIL ENGINEER  
STOCK & ASSOCIATES CONSULTING ENGINEERING  
STRUCTURAL ENGINEER  
LANDSCAPE ARCHITECT  
PAMELA SELF LANDSCAPE ARCHITECTS  
MEP ENGINEER  
NEW YORK ENGINEERS  
DEVELOPER



**DD TWIN OAKS, MO**  
PROJECT:  
1410 BIG BEND ROAD  
TWIN OAKS, MO 63088  
PC # 363804

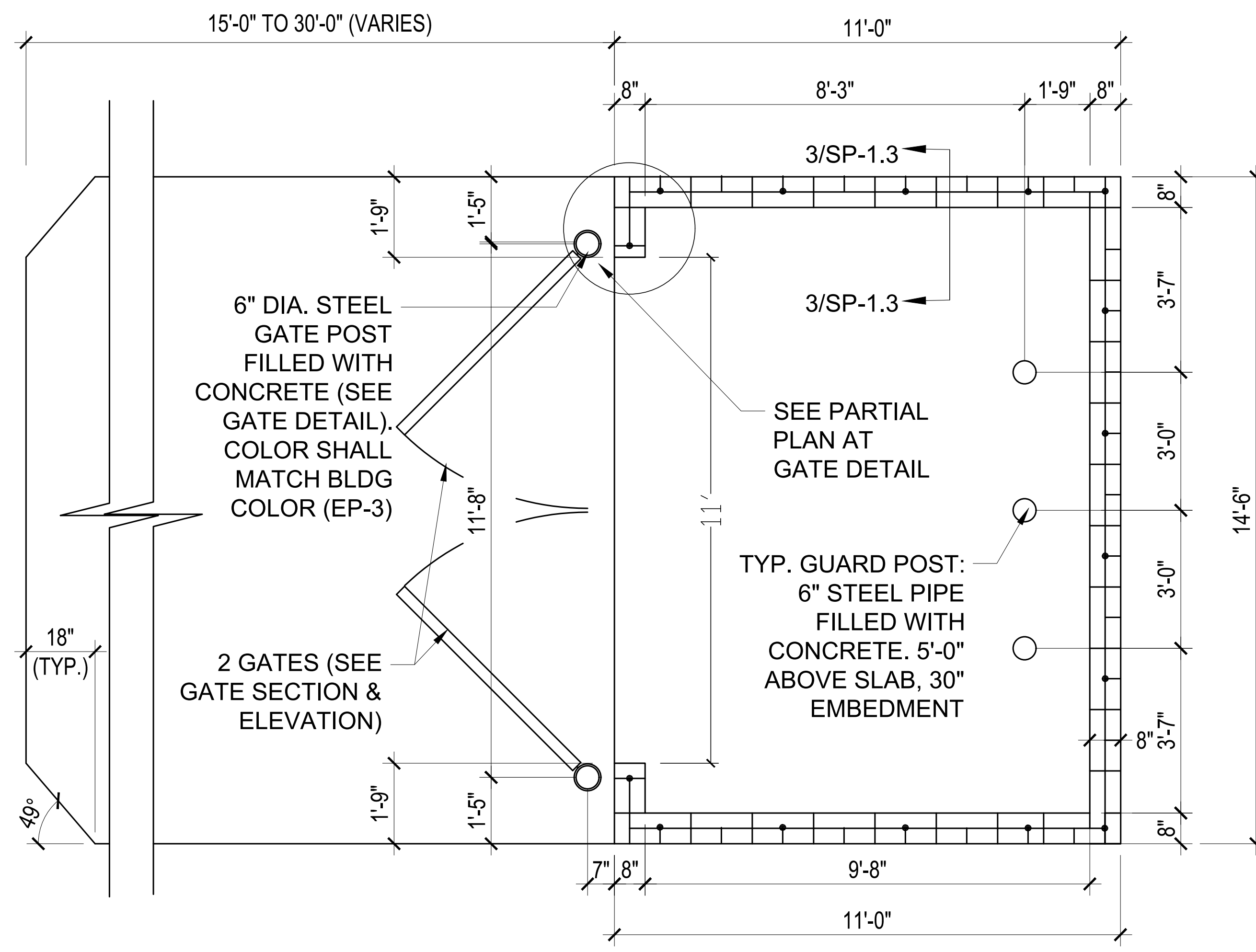
DRAWING ISSUE	DATE
DESCRIPTION FOR PERMIT	07/24/2020

DRAWN BY: WM, CD, ED  
CHECKED BY: SWB  
SHEET TITLE:

PROPOSED DRIVE-THRU LAYOUT & SITE DETAILS

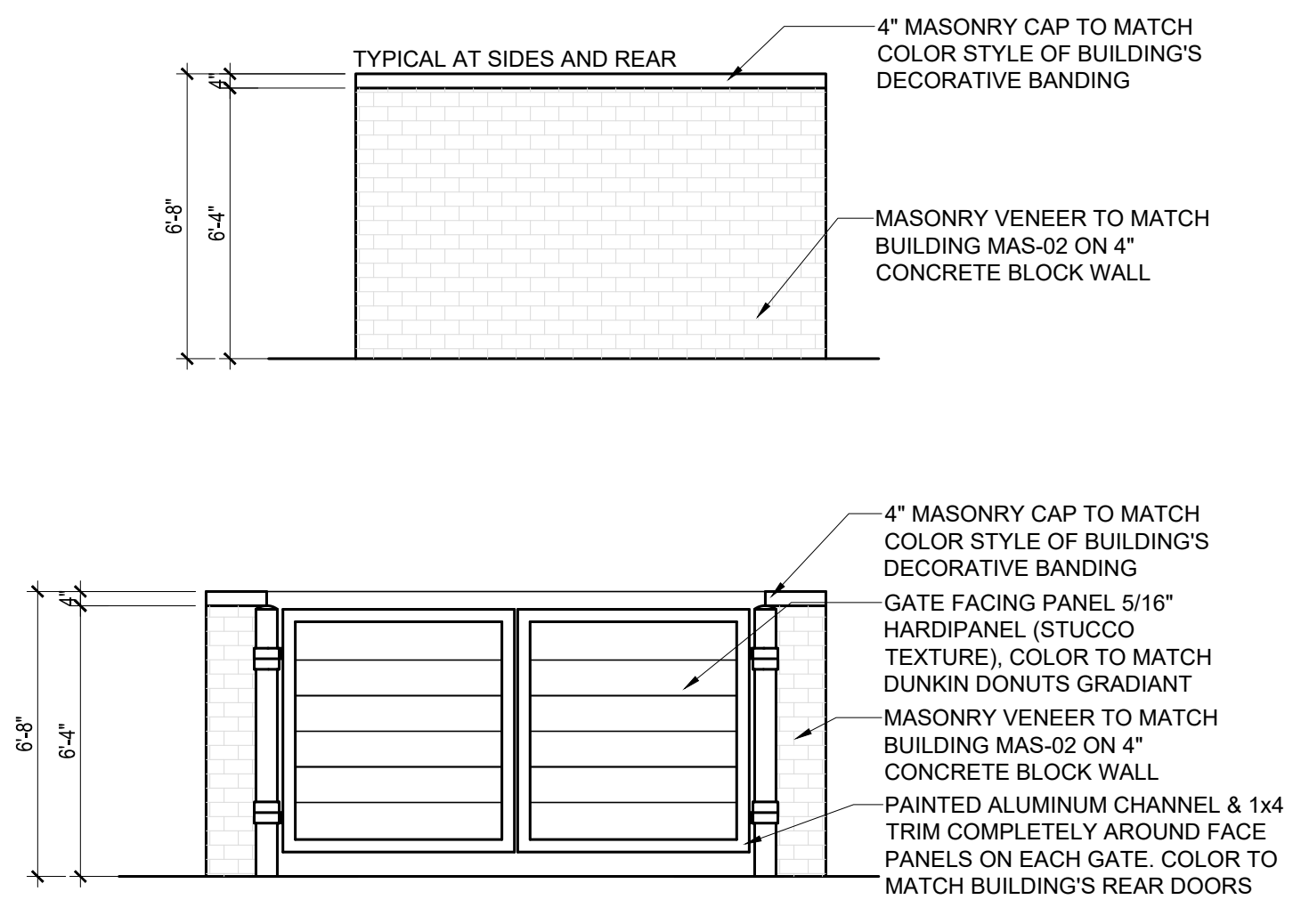
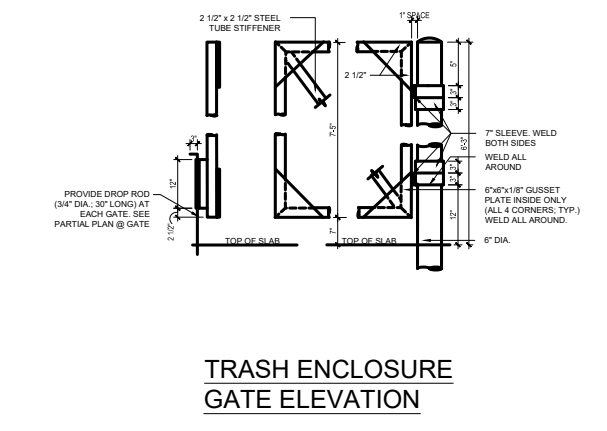
SHEET NO.  
**SP1.2**  
Kolbrook Job No. 1940.002 Consultant Job No.



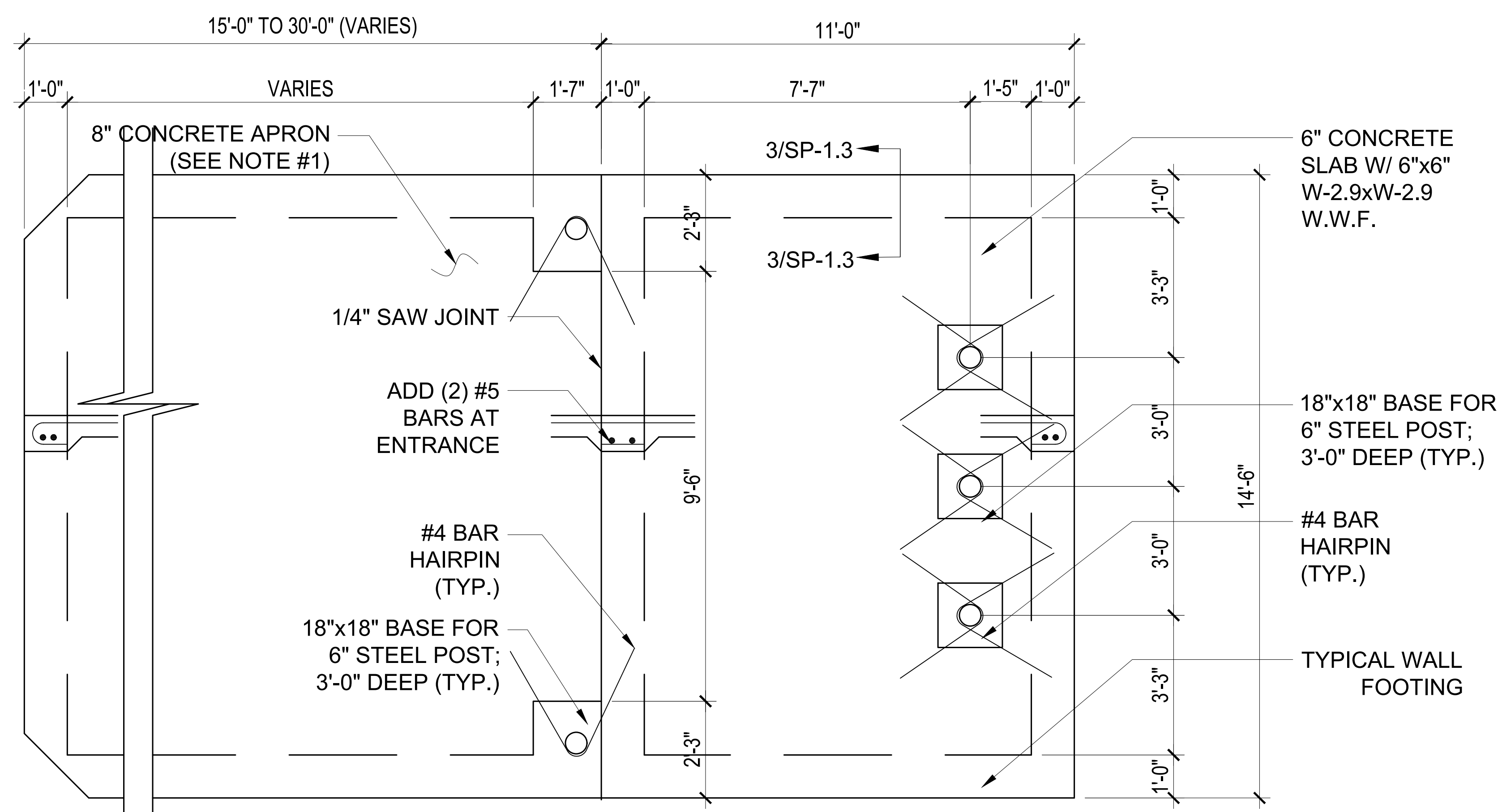


**NOTES:**  
 1. DEPTH OF TRASH ENCLOSURE APRON VARIES DEPENDING ON SITE CONDITIONS.  
 2. A 3'-0" WIDE PERSONNEL ACCESS MAY BE ADDED ON THE SIDE OR REAR WALLS IF DESIRED.

**2 TRASH ENCLOSURE PLAN**  
 SCALE: 1/2" = 1'-0"

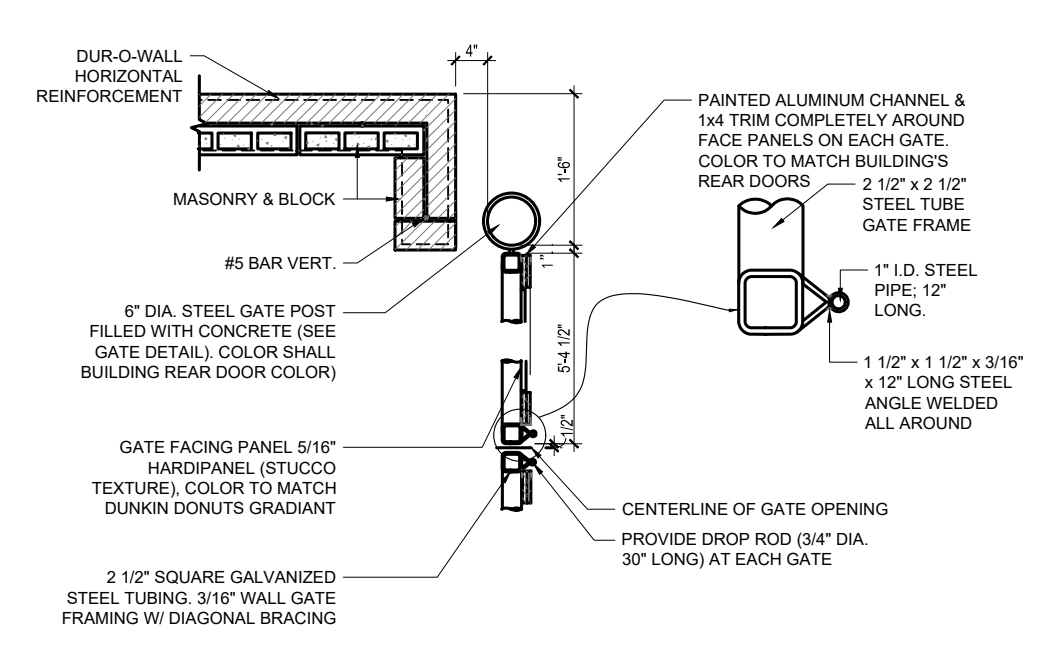


**4 TRASH ENCLOSURE ELEVATIONS**  
 SCALE: 1/2" = 1'-0"

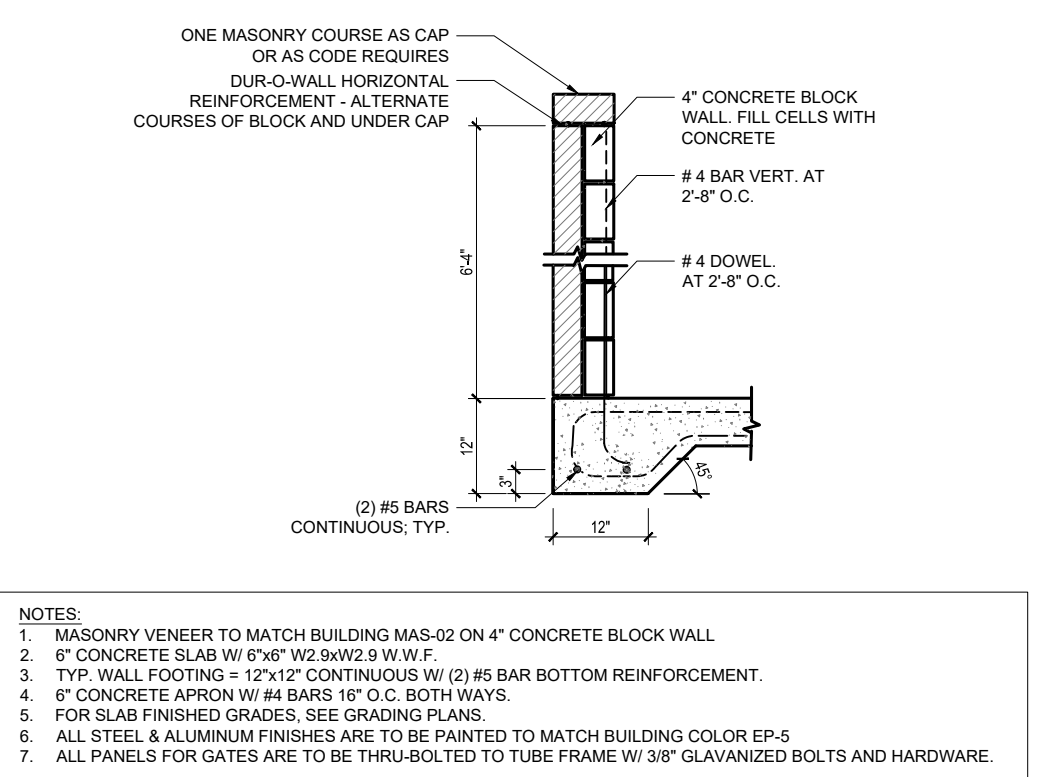


**NOTES:**  
 1. THE CONCRETE TRASH ENCLOSURE APRON SHALL BE 8" THICK OF 3,500 PSI (AT 14 DAYS). CONCRETE REINFORCED W/ #4 BARS AT 16" O.C. EACH WAY. OPTIONAL TO COLOR CONCRETE BLACK USING ADMIXTURE (CHROMIX C-24 CHARCOAL BY SCOFIELD CO., OR EQUAL)

**1 TRASH ENCLOSURE FOUNDATION**  
 SCALE: 1/2" = 1'-0"



**5 TRASH ENCLOSURE ENLARGED PLAN**  
 SCALE: 1/2" = 1'-0"



**3 TRASH ENCLOSURE WALL SECTION**  
 SCALE: 1/2" = 1'-0"

**dunkin' brands**

**kolbrook design**

ARCHITECT

198 PARK ST. SUITE 200  
 EVANSTON, IL 60201  
 OFFICE: 847.482.1961 | FAX: 312.453.8689

CIVIL ENGINEER  
 STOCK & ASSOCIATES CONSULTING ENGINEERING

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT  
 PAMELA SELF LANDSCAPE ARCHITECTS

MEP ENGINEER  
 NEW YORK ENGINEERS

DEVELOPER

SEAL

STATE OF MISSOURI  
 STEVEN A. KOLBER  
 NUMBER  
 A-2014608361  
 ARCHITECT  
 EXP. 12/31/2020

**DD TWIN OAKS, MO**

PROJECT:

14110 BIG BEND ROAD  
 TWIN OAKS, MO 63008  
 PC # 365904

DRAWING ISSUE		DATE
DESCRIPTION	FOR PERMIT	07/24/2020
SHEET TITLE:		

TRASH ENCLOSURE DETAILS

SHEET NO.

**SP1.4**

Kolbrook Job No. 1940.002 Consultant Job No.

### CONCRETE NOTES

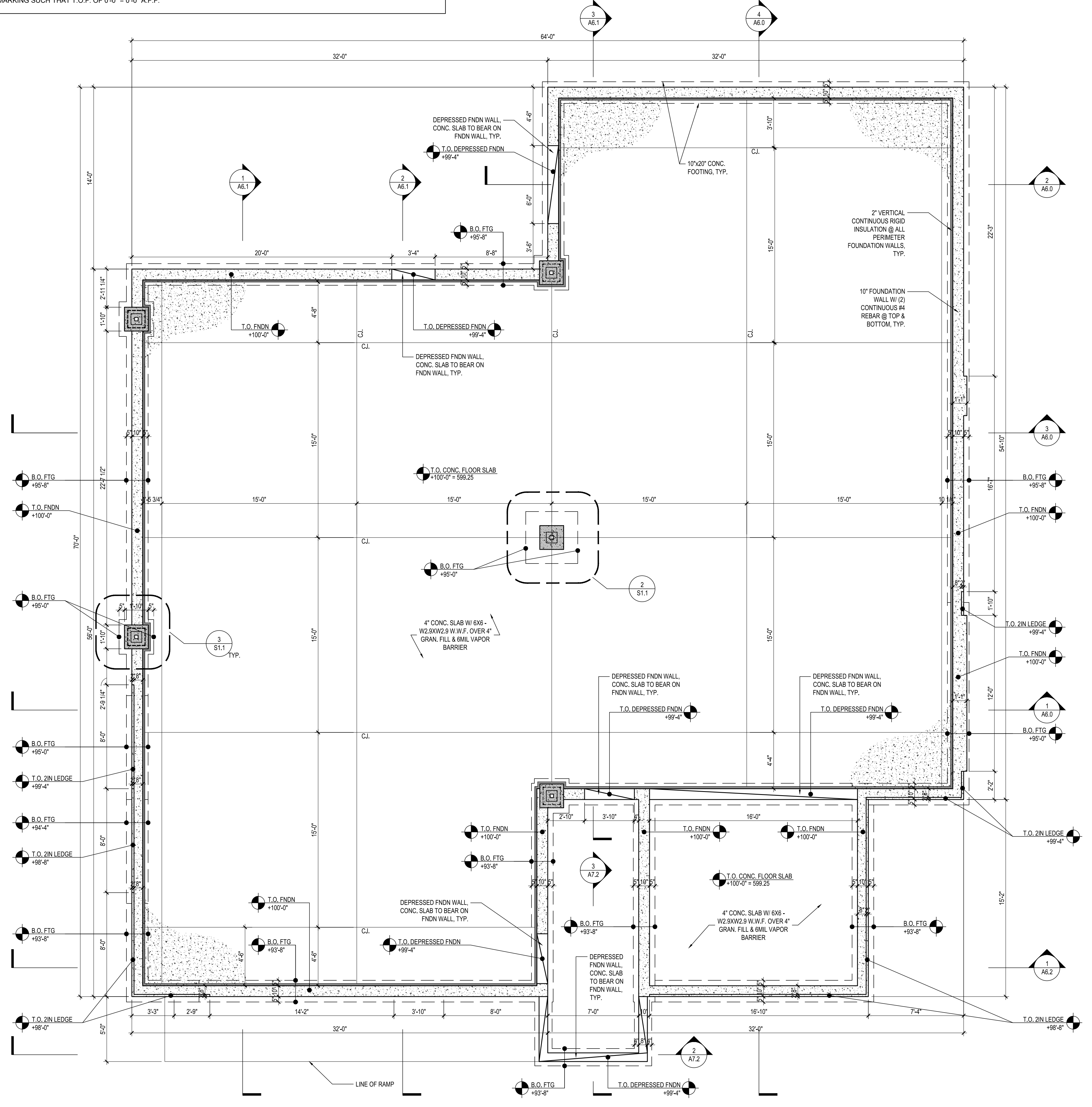
- CONCRETE**
- CONCRETE DETAILING PLACEMENT AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 318-05 AND ACI 301-05.
  - CONCRETE DETAILING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315.
  - CONCRETE IN THE FOLLOWING AREAS SHALL BE SAND AND NORMAL WEIGHT COARSE AGGREGATE (145 PCF MAX) WITH THE SPECIFIED 28 DAY COMPRESSIVE STRENGTH:
    - FROST WALLS 3500 PSI
    - BASEMENT WALLS 3500 PSI
    - FOOTINGS 3500 PSI
    - SLAB-ON-GRADE 3500 PSI
  - CONCRETE REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60.
  - CONCRETE SLABS ON-GRADE SHALL BE REINFORCED AS A MINIMUM WITH 6X6 - W2.8XW2.3 WELDED WIRE FABRIC UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. W.W.F. SHALL BE FURNISHED IN FLAT SHEETS ONLY. REINFORCING CORNERS OF SLABS WHETHER AT SLAB OPENINGS OR OTHER SLAB EDGES SHALL BE REINFORCED WITH ONE DIAGONALLY PLACED #4 X 4'-0" BAR CENTERED ON THE CORNER.
  - CONCRETE COVER PROTECTION FOR REINFORCEMENT SHALL BE IN ACCORDANCE WITH ACI 318-05 SECTION 7.7 OR 1.0 TIMES THE BAR DIAMETER, WHICHEVER IS GREATER, UNLESS NOTED OTHERWISE. CONCRETE COVER PROTECTION FOR ELEVATED FORMED STRUCTURAL SLABS SHALL BE 1 INCH MINIMUM.
  - UNLESS NOTED OTHERWISE, CONTINUOUS REINFORCEMENT SHALL HAVE MINIMUM LAP OF CLASS "B" (ACI 318-05 SECTION 12.15.1) AT SPLICES AND SHALL HOOK AT DISCONTINUOUS ENDS. LAPS OF WELDED WIRE FABRIC SHALL BE A MINIMUM OF TWO WIRE MESHES PLUS 2 INCHES.
  - JOINTS IN WALLS WITH REINFORCING PASSING THROUGH THE MID-THICKNESS OF THE JOINT SHALL BE PREPARED BY ROUGHENING THE SURFACE OF THE CONCRETE TO A MINIMUM AMPLITUDE OF ONE QUARTER INCH IN AN APPROVED MANNER SO THAT THE AGGREGATE IS EXPOSED UNIFORMLY AND LEAVING NO RESIDUE PARTICLES OR DAMAGED CONCRETE. JOINTS WITHOUT REINFORCING PASSING THROUGH THE MID-THICKNESS SHALL BE CONSTRUCTED WITH A MINIMUM 2X4 KEYSWAY.
  - VERTICAL CONTROL JOINTS IN WALLS SHALL BE LOCATED AT A MAXIMUM SPACING OF 20 FEET ON CENTER. CONTROL JOINTS SHALL BE LOCATED NO MORE THAN 10 FEET FROM ANY CORNER OR WALL INTERSECTION. JOINTS SHALL BE LOCATED AT ABRUPT CHANGES IN WALL HEIGHT AND AT ONE OR BOTH EDGES OF WALL OPENINGS. LOCATION OF CONTROL JOINTS SHALL BE SUBMITTED TO ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW AND COMMENT PRIOR TO CONSTRUCTION.
  - MAXIMUM SPACING FOR CONSTRUCTION OR CONTROL JOINTS IN THE SLAB-ON-GRADE SHALL BE 12 FEET IN EACH DIRECTION. JOINTS SHALL BE ARRANGED IN AS CLOSE TO ORTHOGONAL DIRECTIONS AS PRACTICAL. PATTERNS SHALL RESULT IN PANELS WHOSE RATIO OF SIDES IS NO GREATER THAN 1.5:1. SEE ARCHITECTURAL DRAWINGS AND PROJECT SPECIFICATIONS FOR JOINT FILLS AND SEALANTS. CONTRACTOR SHALL SUBMIT PROPOSED CONSTRUCTION AND CONTROL JOINT LAYOUT AND DETAILS FOR ARCHITECT'S REVIEW PRIOR TO CONSTRUCTION OF SLABS.
  - NO REINFORCING STEEL SHALL BE CUT OR WELDED WITHOUT PRIOR CONSENT OF THE STRUCTURAL ENGINEER.
  - REBAR CHAIRS SHALL BE PROVIDED FOR CONCRETE REINFORCEMENT. ADDITIONAL LONGITUDINAL SUPPORT BARS SHALL BE PROVIDED AS REQUIRED TO ASSURE PROPER SUPPORT FOR REINFORCING STEEL AND WELDED WIRE FABRIC.
  - CONCRETE SHALL ATTAIN 75% OF THE SPECIFIED 28-DAY COMPRESSIVE STRENGTH PRIOR TO REMOVING FORMS AND/OR LOADING.
  - EXPANSION BOLTS AND ADHESIVE ANCHORS SHALL BE AS MANUFACTURED BY HILLTI, INC. OR EQUIVALENT ACCEPTABLE TO STRUCTURAL ENGINEER.
  - SPECIAL CARE SHALL BE TAKEN DURING THE CONCRETE PLACEMENT OPERATIONS TO ENSURE FULL CONSOLIDATION OF CONCRETE AROUND DOWELS, DEFORMED BAR ANCHORS, HEADED CONCRETE ANCHORS AND ANCHOR BOLTS.
  - CONCRETE SHALL NOT BE CAST UNTIL REINFORCEMENT AND INSTALLATIONS HAVE BEEN INSPECTED AND APPROVED BY THE INDEPENDENT TESTING AGENCY. THE CONTRACTOR SHALL NOTIFY THE INDEPENDENT TESTING AGENCY AT LEAST 24 HOURS PRIOR TO CASTING CONCRETE TO ALLOW FOR NECESSARY INSPECTIONS.
  - GROUT SHALL BE NON-SHRINK AND SHALL CONFORM TO CORPS OF ENGINEERS SPECIFICATION CRD-C-621. THE FOLLOWING GROUT MANUFACTURERS AND PRODUCTS ARE APPROVED FOR USE ON THE PROJECT: EUCLID - NS GROUT, BASF - MASTERFLOW 555, SIKKA - SIKAGROUT 212.
  - UNLESS NOTED OTHERWISE, CONCRETE COLUMNS AND WALLS SHALL HAVE CHAMFERED CORNERS.
  - CONSTRUCT FORMWORK TO PROVIDE CONCRETE SURFACES CONFORMING TO TOLERANCES OF ACI 117.
  - SUBMIT TO STRUCTURAL ENGINEER TEST REPORTS FOR COMPLIANCE WITH:
    - A. PROPOSED CONCRETING MATERIALS.
    - B. CONCRETE MIXES FOR EACH CLASS AND TYPE OF CONCRETE TO BE USED IN WORK AND INDICATING WHERE EACH IS TO BE USED IN STRUCTURAL MEMBERS.
    - C. CONCRETE ENHANCED WITH HIGH-RANGE WATER-REDUCING ADMIXTURES, I.E. MANUFACTURER DATA ON ADMIXTURES, SLUMP RANGE AND SLUMP REVIEW PROCEDURES.
  - SUBMIT TO STRUCTURAL ENGINEER STEEL REINFORCEMENT SHOP DRAWINGS INDICATING DETAILS OF FABRICATION, BENDING, AND PLACEMENT NECESSARY FOR FABRICATION AND PLACEMENT OF REINFORCEMENT PREPARED IN ACCORDANCE WITH ACI 315. INCLUDE:
    - A. BAR SIZES, SPACING, LOCATIONS, ARRANGEMENT, QUANTITIES, MATERIALS AND GRADE OF REINFORCEMENT.
    - B. LOCATION OF SPLICES OF CONTINUOUS REINFORCEMENT AS INDICATED ON DRAWINGS.
    - C. BAR BENDING DETAILS, BAR SCHEDULES, AND SUPPORTS OF CONCRETE REINFORCEMENT.
    - D. INCLUDE SPECIAL REINFORCEMENT REQUIRED FOR OPENINGS THROUGH CONCRETE STRUCTURES.
    - E. LOCATION OF CONSTRUCTION JOINTS.
  - ADEQUATE PROTECTION SHALL BE PROVIDED. CONCRETE SHOULD NOT BE PLACED DURING RAIN, SLEET OR SNOW. RAIN WATER SHOULD NOT BE ALLOWED TO INCREASE MIXING WATER NOR TO DAMAGE SURFACE FINISH.
  - FLY ASH SHALL MEET THE REQUIREMENTS OF ASTM C018. CLASS C OR F. SUBSTITUTION FOR PORTLAND CEMENT SHALL NOT EXCEED 20 PERCENT OF WEIGHT OF CEMENTITIOUS MATERIAL, ON AT LEAST A POUND FOR POUND BASIS.
  - PRECAST CONCRETE BLOCK BAR SUPPORTS SHALL NOT BE LESS THAN 4 INCHES SQUARE AND SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH EQUAL TO OR EXCEEDING SPECIFIED 28-DAY COMPRESSIVE STRENGTH OF CONCRETE BEING PLACED.
  - PROVIDE CONCRETE WHICH WILL BE SUBJECT TO DESTRUCTIVE EXPOSURE, OTHER THAN NORMAL LOADING, SUCH AS FREEZING AND THAWING, OR DEICING SALTS, WITH ENHANCED AIR OF PERCENT BY WEIGHT. SUCH CONCRETE SHALL INCLUDE SIDEWALKS, FROST WALLS, BASEMENT WALLS, STOOPS, WING WALLS, EXTERIOR STAIRS.
  - CONCRETE SLUMP DETERMINED BY ASTM C143 SHALL BE 4" PLUS OR MINUS ONE INCH.
  - COARSE AGGREGATE MAXIMUM SIZE SHALL PASS A 3/4 INCH SIEVE BUT NOT A 1/2 INCH SIEVE.
  - ADMIXTURES CONTAINING EITHER CALCIUM CHLORIDE OR WATER SOLUBLE CHLORIDE IONS EXCEEDING 0.5 PERCENT BY WEIGHT OF CEMENT SHALL NOT BE USED.
  - CONCRETE PLACEMENT WHEN AMBIENT AIR TEMPERATURES ARE EXPECTED BELOW 50 DEGREES F. SHALL MEET RECOMMENDATIONS OF ACI 308R-88 FOR COLD WEATHER AND WHEN AMBIENT AIR TEMPERATURES ARE EXPECTED ABOVE 90 DEGREES F. SHALL MEET RECOMMENDATIONS OF ACI 305R-99 FOR HOT WEATHER CONCRETE PLACEMENT. CONTRACTOR SHALL SUBMIT PROPOSED PROCEDURES FOR COMPLYING WITH THESE DOCUMENTS TO STRUCTURAL ENGINEER 5 BUSINESS DAYS PRIOR TO CASTING CONCRETE DURING THESE CONDITIONS.
  - FLOOR SURFACE TOLERANCES SHALL BE EVALUATED IN ACCORDANCE WITH ASTM E1155.
    - A. FLATNESS FF = 25 OVERALL, FF = 13 MINIMUM LOCAL VALUE
    - B. LEVELNESS FL = 20 OVERALL, FL = 10 MINIMUM LOCAL VALUE
    - C. FL APPLIES ONLY TO SLAB-ON-GRADE AND SLABS SHORED AT THE TIME OF TESTING.
  - PLACE REINFORCEMENT MEETING THE RECOMMENDATIONS OF CRSI RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS.
  - AFTER FORMS HAVE BEEN STRIPPED, CONCRETE WHICH IS NOT FORMED AS REQUIRED, WHICH IS OUT OF ALIGNMENT OR LEVEL BEYOND SPECIFIED TOLERANCES, OR WHICH SHOWS DEFECTIVE SURFACE THAT CANNOT BE PROPERLY REPAIRED OR PATCHED SHALL BE REMOVED. SUBMIT TO STRUCTURAL ENGINEER, IN WRITING, REMEDIAL PROCEDURES FOR REVIEW PRIOR TO BEGINNING WORK. HONEYCOMBED, SPALLED OR OTHERWISE DAMAGED CONCRETE SHALL BE REPAIRED AND PATCHED.
  - NOTIFY STRUCTURAL ENGINEER OF DEFECTS AND SUBMIT REMEDIAL PROCEDURES IN WRITING FOR REVIEW PRIOR TO BEGINNING WORK.

### FOUNDATION NOTES

- FOUNDATION**
- THE OWNER'S GEOTECHNICAL TESTING AGENCY SHALL INSPECT AND PERFORM ANY TEST REQUIRED TO VERIFY THE ACTUAL NET ALLOWABLE SOIL BEARING PRESSURE AT FOUNDATION BEARING LOCATIONS. THE GEOTECHNICAL TESTING AGENCY SHALL NOTIFY THE STRUCTURAL ENGINEER OF ANY LOCATION WHERE THE ACTUAL BEARING PRESSURE IS LESS THAN THE SPECIFIED VALUE (OR) WHERE ANY FOUNDATION ELEVATION MUST BE MODIFIED TO BEAR ON APPROPRIATE MATERIAL. CONSTRUCTION OF THE FOUNDATION SYSTEM SHALL NOT PROCEED AT ANY SUCH LOCATION UNTIL THE APPROPRIATE REMEDIAL ACTION AS PREPARED BY THE STRUCTURAL ENGINEER AND/OR THE GEOTECHNICAL ENGINEER HAS BEEN SUBMITTED TO CONTRACTOR.
  - EXISTING FILL AND ORGANIC MATERIAL SHALL BE REMOVED. THE GEOTECHNICAL TESTING AGENCY SHALL ESTABLISH THE EXTENT OF REMOVAL OF UNSUITABLE MATERIALS.
  - THE SLAB-ON-GRADE SHALL BE PLACED ON A MOISTURE VAPOR BARRIER OVER A MINIMUM THICKNESS OF 6" OF FILL CONFORMING TO INDOT COARSE GRADED #5 PLACED IN LIFTS NOT EXCEEDING 9" IN LOOSE THICKNESS AND COMPACTED TO A MINIMUM 90% OF OPTIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST ASTM D-1557.
  - THE GEOTECHNICAL TESTING AGENCY SHALL INSPECT EXCAVATION, FILL, AND BACKFILL OPERATIONS. THE GEOTECHNICAL TESTING AGENCY SHALL PERFORM APPROPRIATE COMPACTION TESTS DURING FILL AND BACKFILL OPERATIONS FOR COMPLIANCE WITH THE PROJECT SPECIFICATIONS.
  - PROPER MOISTURE CONTROL IS ESSENTIAL TO REDUCE THE AMOUNT OF EFFORT IN COMPACTION NECESSARY TO ACHIEVE THE DESIRED DENSITIES. THIS IS ESPECIALLY TRUE OF COHESIVE SOILS. THE RECOMMENDATIONS ON COMPACTION OF THE GEOTECHNICAL ENGINEER SHALL BE FOLLOWED.
  - THE SOIL TYPES AT THIS SITE CAN BE EASILY DISTURBED BY CONSTRUCTION EQUIPMENT. IT IS THE EARTHWORK CONTRACTOR'S RESPONSIBILITY TO CHOOSE EQUIPMENT AND WORK PROCEDURES WHICH WILL NOT DISTURB THE SUBGRADE SOILS. THE CONTRACTOR SHOULD ROUTE CONSTRUCTION TRAFFIC AWAY FROM AREAS OF FOUNDATIONS AND SLABS TO AVOID SOIL DISTURBANCE. THE RESPONSIBILITY TO PROPERLY SELECT CONSTRUCTION EQUIPMENT TO AVOID DISTURBING SOILS ON THE SITE LIES WITH THE CONTRACTOR.
  - SPECIAL PRECAUTIONS MUST BE FOLLOWED BY CONTRACTOR DURING COLD WEATHER CONSTRUCTION. ONLY UNFROZEN BACKFILL SHALL BE USED. SILTY CLAY SOILS SHALL NOT BE USED FOR BACKFILL. PLACEMENT OF FILL SHALL NOT BE PERMITTED ON FROZEN SOIL.
  - SUBGRADE SHALL BE PROTECTED AGAINST FROST OR FREEZING DURING CONSTRUCTION OF FOUNDATION SYSTEM AND UNTIL THE THREAT OF FREEZING OF THE SUBGRADE DOES NOT EXIST.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY REQUIRED DEWATERING OF THE SITE.
  - THE PROVISION OF TEMPORARY EARTH RETENTION SYSTEMS TO SUPPORT STRUCTURES, STREETS, ETC. SHALL BE THE RESPONSIBILITY OF CONTRACTOR. DESIGN AND CONSTRUCTION OF THE RETENTION SYSTEM SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF FOUNDATION DIMENSIONS AND ALIGNMENT PRIOR TO FOUNDATION CONSTRUCTION.
  - CONSULT THE GEOTECHNICAL ENGINEER FOR SLOPE PROTECTION OF EXCAVATION CUTS.
  - REINFORCING STEEL AND CONCRETE SHALL BE PLACED AS SOON AS POSSIBLE AFTER EXCAVATION FOR THE FOUNDATION SYSTEM.
  - REINFORCING STEEL SHALL BE THOROUGHLY CLEANED IMMEDIATELY PRIOR TO PLACING CONCRETE.
  - NO CONCRETE SHALL BE CAST ON OR AGAINST SUBGRADE MATERIAL CONTAINING FROST, WATER OR SNOW.
  - SUBGRADE WALLS THAT ARE ATTACHED TO FLOOR FRAMING OR SLAB AT THE TOP OF THE WALL AND WHICH RETAIN EARTH ON ONE SIDE HAVE BEEN DESIGNED AS "BRACED" WALLS. SLAB-ON-GRADE HAS BEEN DETAILED AND WALLS DESIGNED SUCH THAT SLAB-ON-GRADE BRACES THE BOTTOM OF BASEMENT WALLS AND THE TOP OF PIT WALLS. TEMPORARY BRACING OF THE WALLS SHALL BE PROVIDED UNTIL THE STRUCTURAL ATTACHMENT AT THE TOP AND BOTTOM HAS BEEN COMPLETED AND OBTAINED 75% OF THE SPECIFIED 28-DAY COMPRESSIVE STRENGTH SPECIFIED FOR THE BRACING ELEMENTS. WALLS SHALL NOT BE BACKFILLED UNTIL OBTAINING THE 28-DAY COMPRESSIVE STRENGTH SPECIFIED FOR THE WALLS.
  - CANTILEVERED RETAINING WALLS WHICH RETAIN EARTH ON ONE SIDE AND HAVE WIDE FOOTINGS TO COMPENSATE FOR THE OVERTURNING FORCES OF RETENTION SHALL NOT BE BACKFILLED UNTIL OBTAINING THE 28-DAY COMPRESSIVE STRENGTH SPECIFIED FOR THE WALLS.
  - FOUNDATIONS THAT SUPPORT THE SUPERSTRUCTURE AND THAT ARE MECHANICALLY ATTACHED TO SLAB-ON-GRADE AT THE TOP OF THE FOUNDATION SUCH AS VIA REINFORCING BARS HAVE BEEN DESIGNED AS "BRACED" WALLS. TEMPORARY BRACING OF THE FOUNDATIONS SHALL BE PROVIDED DURING ERECTION OF THE SUPERSTRUCTURE UNTIL THE STRUCTURAL ATTACHMENT AT THE TOP HAS BEEN COMPLETED AND OBTAINED 75% OF THE SPECIFIED 28-DAY COMPRESSIVE STRENGTH SPECIFIED FOR THE BRACING ELEMENTS.
  - GRADE BEAMS AND WALLS THAT RETAIN EARTH ON BOTH SIDES SHALL BE BACKFILLED ON BOTH SIDES SIMULTANEOUSLY. CONSTRUCTION JOINTS SHALL BE WATERTIGHT.
  - ALL CONCRETE WORK BELOW GRADE SHALL BE DETAILED AS WATERTIGHT CONSTRUCTION. ALL SUBGRADE CONSTRUCTION JOINTS SHALL BE WATERTIGHT.
  - FOUNDATION HEIGHTS AS LISTED ON THE FOUNDATION PLAN RELATE TO ELEVATIONS MARKING SUCH THAT T.O.F. OF 0'-0" = 0'-0" A.F.F.

### STEEL NOTES

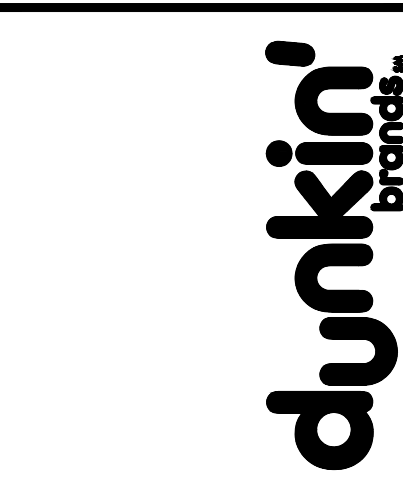
- STRUCTURAL STEEL**
- STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC "LOAD AND RESISTANCE FACTOR DESIGN SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS" AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".
  - ROLLED STEEL SHAPES TO BE GRADE A992. STRUCTURAL STEEL SHAPES AND PLATES SHALL CONFORM TO ASTM A992. UNLESS NOTED OTHERWISE, HOT FORMED STEEL TUBING SHALL CONFORM TO ASTM A501. COLD FORMED STEEL TUBING SHALL CONFORM TO ASTM A500. GRADE B. STRUCTURAL STEEL PIPE SHALL CONFORM TO ASTM A53, GRADE B. ANCHOR BOLTS SHALL BE ASTM A307, 1/2" DIAMETER, 12" LONG, UNLESS NOTED OTHERWISE.
  - BOLTS, NUTS AND WASHERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A325.
  - WELDING SHALL CONFORM TO AWS D1.1 "STRUCTURAL WELDING CODE", LATEST EDITION. ALL WELDING ELECTRODES SHALL BE E70XX.
  - THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT.



**3** TYP. BASE PLATE DTL. SCALE: 1" = 1'-0"

**2** BASE PLATE DTL. @ CENTER COLUMN SCALE: 1" = 1'-0"

**1** FOUNDATION PLAN SCALE: 1/4" = 1'-0"



**kolbrook design**  
 ARCHITECT  
 680 DAVIS ST. SUITE 300  
 TWIN OAKS, MO 65088  
 OFFICE: 644-492-1980 | FAX: 312-453-0669

CIVIL ENGINEER  
 STOCK & ASSOCIATES CONSULTING ENGINEERS  
 STRUCTURAL ENGINEER  
 LANDSCAPE ARCHITECT  
 PAMELA SELBY LANDSCAPE ARCHITECTS  
 MEP ENGINEER  
 NEW YORK ENGINEERS  
 DEVELOPER



**DD TWIN OAKS, MO**  
 PROJECT  
 1410 BIG BEND ROAD  
 TWIN OAKS, MO 65088  
 PC # 359504

DESCRIPTION	DATE
FOR PERMIT	07/24/2020
DRAWING ISSUE	
DRAWN BY: WM, CD	
CHECKED BY: SWB	
SHEET TITLE	

FOUNDATION PLAN

SHEET NO. **S1.1**  
 Kolbrook Job No. 1540.002 Consultant Job No.





**GENERAL NOTES**

- A. ALL INTERIOR & EXTERIOR LIGHTING TO BE LED (INCLUDING IN THE WALK-IN BOX).
- B. EFFECTIVE LIGHTING CONTROLS STANDARD THROUGHOUT. OCCUPANCY SENSORS TO BE USED IN SPACES NOT ACTIVELY USED THROUGHOUT THE DAY (RESTROOMS, OFFICE, CONFERENCE ROOMS AND ETC.).
- C. INTEGRATE OCCUPANCY SENSORS IN SPACES NOT ACTIVELY USED THROUGHOUT THE DAY INCLUDING: RESTROOMS, OFFICE, WALK-IN BOX, CONFERENCE ROOMS & CLOSETS.
- D. REFER TO MASTER FINISH SCHEDULE FOR CEILING FINISHES.
- E. CLOSED CEILING TO BE ALTERNATIVE OPTION.
- F. ALL DEVICES (DIFFUSERS, RETURNS, SMOKE DETECTORS, ETC.) TO MATCH CEILING. WHEN OPEN CEILING IS USED ALL PIPES AND DUCTS AND ALL OTHER ITEMS THAT ARE ON CEILING TO BE PAINTED TO MATCH CEILING.
- G. LAYOUT NOTES:
  - PROVIDE EMERGENCY LIGHTS & SMOKE DETECTORS AS REQUIRED BY LOCAL GOVERNING CODE.
  - ADD THE RH REMOTE WEATHER PROOF EMERGENCY HEAD (PRODUCT #Z1P8) TO THE EXTERIOR EGRESS DOORS IF REQUIRED BY CODE.

**PLAN NOTES**

- 1. GYPSUM WALL BOARD CEILING.
- 2. HOOD FOR JUST BAKED OVEN WITH EXHAUST FAN.
- 3. EXHAUST HOOD FOR SANDWICH STATION WITH ROOF FAN.
- 4. FLUE FOR HOT WATER HEATER.
- 5. DIFFUSERS IN DINING AREA TO MATCH CEILING TILE AND GRID COLOR.
- 6. OWNER TO SUPPLY & G.C. TO PROVIDE BLOCKING AND INSTALL CEILING HUNG "BUTTERFLY MOUNT" FOR ORDER STATUS BOARD & EXPEDITOR VDU; TELEHOOK TH-1040 WITH (2) SCREEN MOUNTING PLATES BACK TO BACK. MOUNTING HEIGHT W/ OWNER.
- 7. CUSTOM LIGHT BAR MOUNTED @ 8'-7" A.F.F. SEE DETAIL 6A2.1
- 8. CENTER LIGHT FIXTURE IN ROOM.
- 9. NOT USED.
- 10. PROVIDE 24"x24" ACCESS HATCH IN SOFFIT CENTERED ON DIGITAL MENU BOARDS. PAINT TO MATCH ADJACENT SOFFIT.
- 11. NOT USED.
- 12. BOTTOM OF SUSPENDED LINEAR LED FIXTURES @ 10'-0" A.F.F. (FIXTURE P-1 AND P-2).
- 13. DIGITAL MENU BOARD-VERTICAL DEFAULT (IF POSSIBLE)
  - 4-49" DIAGONAL BOARDS (STANDARD) IS 120"L (8'-6") AND 48"H (4'-0")
  - 4-43" DIAGONAL BOARDS IS 91"L (7'-7") AND 42"H (3'-6")
- 14. HVAC DUCTWORK SHALL BE INSTALLED AS HIGH AS POSSIBLE.
- 15. LIGHTS PROVIDED BY WALK-IN BOX MANUF.
- 16. ORANGE BEAM LIGHTING: UNDERSIDE OF BEAM- WHEN USING THE NATIONAL ACCOUNTS PREFABRICATED ORANGE BEAM LED-13 SHALL BE PROVIDED BY THE VENDOR. WHEN THE ORANGE BEAM IS FRAME IN FIELD, LED-2 SHALL BE PROVIDED BY THE G.C. AND USED ON THE UNDERSIDE OF BEAM.
  - TOP OF BEAM: WHEN USING PREFABO LED-13 SHALL BE PROVIDED BY MANUF. WHEN BEAM IS FRAMED IN FIELD, LED-12 SHALL BE PROVIDED BY G.C. AND USED ON TOP OF BEAM.
- 17. AIR CURTAIN - PROVIDE 115V OUTLET
- 18. "LROD" PANEL ARTWORK - SEE INTERIOR ELEVATIONS.
- 19. NOT USED.
- 20. LIGHT FIXTURE 'A' WHERE ARTWORK HUNG IN DROP CEILING.
- 21. SPEAKERS TO BE PROVIDED BY OWNER.
- 22. FRONTLINE SOFFIT TO ALIGN WITH MILLWORK BELOW.
- 23. 'R1' LIGHT FIXTURES ABOVE FRONTLINE SOFFIT TO ALIGN WITH 'R1' LIGHT FIXTURES AT BACKLINE SOFFIT (TYP.).
- 24. LINE OF ORANGE ACCENT BEAM
- 25. LED-13 ON TOP OF PREFABRICATED ORANGE DRIVE-THRU CANOPY BEAM AND ORANGE ACCENT BEAM.
- 26. LED-12 TO BE USED ON TOP OF MONOLITH CHARCOAL TRIM.
- 27. LED 14 TO BE USED ON BASE OF MONOLITH ONLY.
- 28. UNDERSIDE OF CANOPY TO BE PAINTED PC-13.

**CEILING FINISH NOTES**

- A. ALL EXPOSED PIPING, ROOF DECK, STRUCTURE & ANYTHING ELSE ABOVE CEILING IS TO BE PAINTED P-2, UNLESS PROHIBITED BY LANDLORD. PROVIDE CORRECT PAINT TYPE PER MANUF. RECOMMENDATIONS FOR EACH MATERIAL.
  - B. IF EXISTING ROOF DECK & STRUCTURAL ELEMENTS HAVE FIREPROOFING, IT IS TO REMAIN.
- DD GREEN NOTES**
- A) LED LIGHT FIXTURES & SIGNAGE: ALL INTERIOR & EXTERIOR LIGHTING, INCLUDING SIGNAGE TO BE LED. ANY NON-LED FIXTURE MUST USE THE MOST EFFICIENT BULB POSSIBLE.
  - B) EFFECTIVE LIGHTING CONTROLS: INTEGRATE OCCUPANCY SENSORS IN SPACES NOT ACTIVELY USED THROUGHOUT THE DAY INCLUDING: RESTROOMS, OFFICE, CONFERENCE ROOMS & CLOSETS.
  - C) WALK-IN BOX LIGHTING: SYSTEM SHOULD INCLUDE LED LIGHT FIXTURES W/ OCCUPANCY SENSORS FOR ENERGY USE REDUCTION.
  - D) AUTOMATIC EXHAUST CONTROLS: AUTOMATIC CONTROLS ON ALL EXHAUST FANS IN HOODS REDUCES ENERGY BY ELIMINATING UNNECESSARY VENTILATION WHEN HOOD IS NOT REQUIRED & REDUCES MAINTENANCE OVER TIME. SEE MECHANICAL SHEETS FOR MORE INFORMATION.

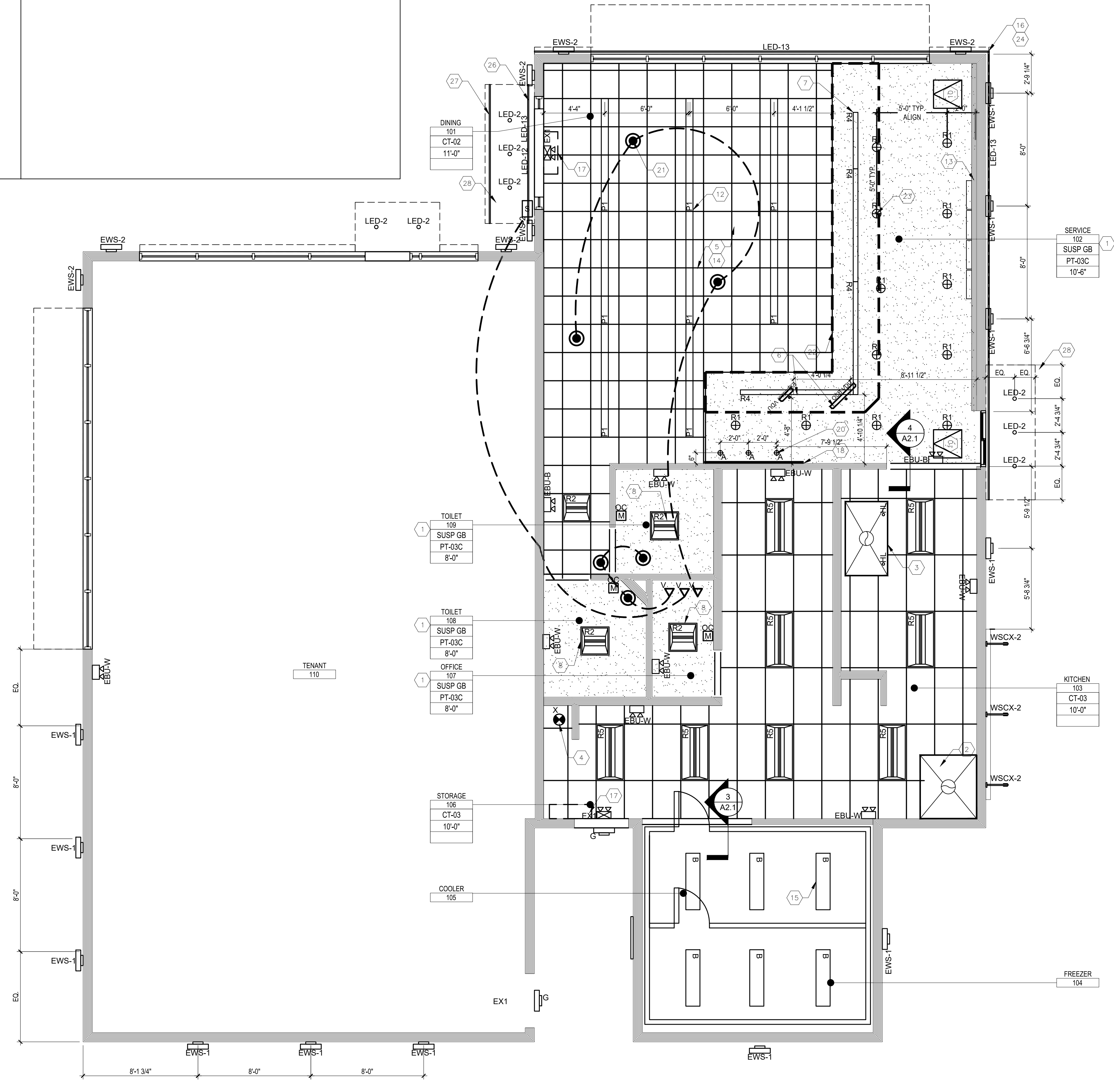
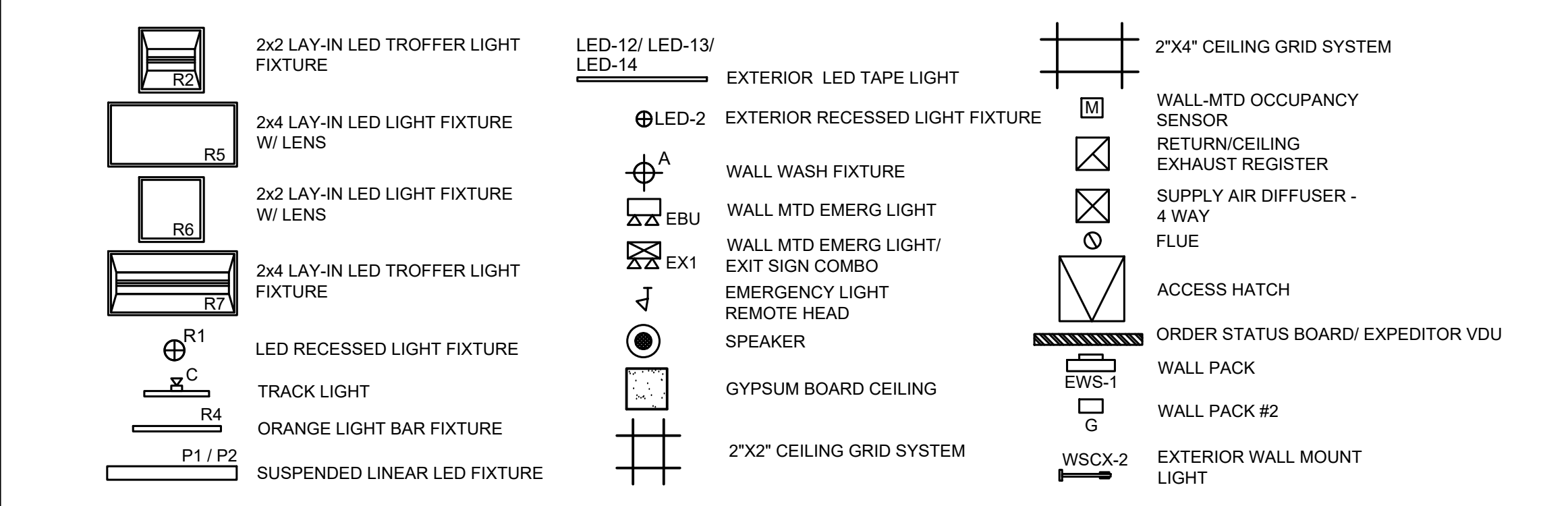
**MUSIC SYSTEM NOTES**

- A. MUSIC SYSTEM IS REQUIRED IN ALL NEW AND REMODEL STORES. STEREO RECEIVER, SPEAKERS & SPEAKER PROVIDED BY OWNER, INSTALLED BY GC.
- B. ALL CEILING SPEAKERS TO BE FLUSH MOUNTED.
- C. A MINIMUM OF TWO SPEAKERS IN THE SEATING AREA, ONE IN EACH RESTROOM & ONE IN THE VESTIBULE. NO SPEAKERS IN THE SERVICE AREA.
- D. HARDWARE TO BE INSTALLED IN THE OFFICE. FIELD VERIFY AND COORDINATE WITH FRANCHISE FOR THE EXACT LOCATION OF THE UNIT AND VOLUME CONTROLS. PROVIDE SEPARATE VOLUME CONTROLS FOR EA AREA.
- E. CONTACT DUNKIN' BRANDS RECOMMENDS FOR MUSIC & SYSTEM SUPPLIER CONTACT INFO.
- F. PROVIDE AND INSTALL SEPARATE VOLUME CONTROLS FOR EACH AREA (RESTROOMS, SEATING AREA, EXTERIOR)

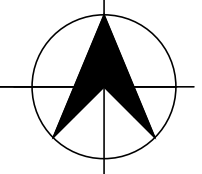
LIGHTING SCHEDULE - VILLA LIGHTING			
CODE	DESCRIPTION	MANUFACTURER	PRODUCT
A	WALL-WASH FIXTURE- TO BE USED AT ARTWORK AND LROD SIGN	CONTECH	RL20SA3-35K-12-D/ CTR2002CLR-P
B	PROVIDED BY WALK-IN BOX MANUF.	VARES	VARES
C	TRACK LIGHT & HEAD- USED @ WALL W/ ART WORK AND WHERE CEILING IS OPEN	JUNO	R600L-35K-BL
EBU-W	ULTRA COMPACT LED EMERGENCY UNIT (WHITE)	EXITRONIX	EBU-W-LED-51-52
EBU-B	ULTRA COMPACT LED EMERGENCY UNIT- USED ON WT-02 WALL ONLY (BLACK)	EXITRONIX	EBU-B-LED-51-52
EMR	EXTERIOR COMBO LED REMOTE EXIST LIGHT HEAD- USED ABOVE OR ADJACENT TO EXIT DOORS (GRAY)	EXITRONIX	MLED-2-G-W/P
EWS-1	WALL PACK (GRAY) EXTERIOR- USED ON DARK WALL FINISH	WAC	WP-LED227-30-AGH
EWS-2	WALL PACK (WHITE) EXTERIOR- USED ON LIGHT WALL FINISH	WAC	WP-LED227-30-AV/T
G	WALL PACK - ABOVE SERVICE DOOR	COOPER	XTOR3A
EX1	COMBO LED EXIT SIGN W/ LIGHT HEADS (WHITE)	EXITRONIX	VLED-U-WH-EL90
BL	BATHROOM SCNOCNE	LUMENCIA	LLW260D3K-SN
LED 2	EXTERIOR RECESSED LIGHT FIXTURE- USED UNDER ORANGE BEAM CANOPY	LUMARK	XTOR2B-W
LED 11	NOT USED		
LED 12	EXTERIOR LIGHT FIXTURE- USED ON TOP OF CHARCOAL TRIM AND FIELD FRAMED ORANGE BEAM	SOLID STATE LUMINARIES SOLUTIONS OF LIGHTING	SSL-LSSL-5165-400 LUMENS
LED 13	EXTERIOR LIGHT FIXTURE- USED ON TOP OF AND ON THE UNDERSIDE OF THE ORANGE BEAM WHEN USING THE PREFAB		TO BE PROVIDED BY PREFAB ORANGE BEAM VENDOR
LED 14	EXTERIOR LIGHT FIXTURE - ACCENT LIGHT USED ON TOP OF CHARCOAL TRIM AT BASE OF MONOLITH ONLY	LED POWER	HB308-48"-41K-15D-AC
OC	WALL MOUNTED OCCUPANCY SENSOR	WATTSTOPPER	WS-250-W
P1	8' SUSPENDED LINEAR LIGHT FIXTURE- USED IN SEATING/ SALES AREA	TEXAS FLUORESCENTS	SES-FR-96L-S62W6200L-DMV-35K-BK
P2	4' SUSPENDED LINEAR LIGHT FIXTURE- USED IN SEATING/ SALES AREA	TEXAS FLUORESCENTS	SES-FR-48L-S62W3100L-DMV-35K-BK
P3	PENDANT CHANDELIER- USED ABOVE COMMUNITY TABLE	TECH LIGHTING	700TD-ALVPMC-OS-LED930
PKL3	PARKING LOT LIGHTING	COOPER LIGHTING	LUMARK PRV-PREVAL PRV-A40-UNV-T3-SA-BZ
PKL4	PARKING LOT LIGHTING	COOPER LIGHTING	LUMARK PRV-PREVAL PRV-A40-UNV-T4-SA-BZ
R1	RECESSED LED LIGHT FIXTURE	CREE	RC6/CR6T-1600L-35K
R2	2X2 LAY-IN TROFFER LED LIGHT FIXTURE, USED IN FRONT OF	CREE	CR22-32L-35K-S-HD
R3	4' LED ADJ DOWNLIGHT, 400K, 200 LUMEN	NORA	NCH-436-L20-40-D-SF
R4	LED LINEAR LIGHT BAR- USED ABOVE FRONT LINE [NOTE: AVAILABLE IN INCREMENTS OF 1FT WITH A 1FT X 1FT CORNER	PINNACLE ARCHITECTURAL LIGHTING	EX3D-A-N-835VHO-8-S/AC120ST
R5	2X4 LAY-IN LED LIGHT FIXTURE, USED IN BACK OF HOUSE	LSI	SFP24-LED-50-UE-DM4-35-U
R6	2X2 LAY-IN LED LIGHT FIXTURE, USED OVER SERVICE AREA - REMODELS ONLY	LSI	SFP22-LED-UE-30-DM4-35-U
R7	2X4 LAY-IN TROFFER LED LIGHT FIXTURE, USED IN FRONT OF HOUSE - REMODELS ONLY	CREE	CR24-40L-35K-S-HD
WSCX-2	EXTERIOR SIGN LIGHT FIXTURE - USED AT ACCENT PANELS	HI-LITE MFG INC.	H-HDMR16/18-1-119/MR16AD1C293010T-10-S1

- LIGHTING SCHEDULE NOTES**
1. PROVIDE ALL FIXTURES COMPLETE WITH LAMPS. REF: NATIONAL ACCOUNT SOURCE INFO FOR LAMP SPECS & VILLA LIGHTING RE-LAMPING PROGRAM.
  2. ALL BALLASTS SHALL BE HIGH POWER FACTOR.
  3. PROVIDE HOLD-DOWN CLIPS FOR EACH CORNER OF FLUORESCENT GRID TROFFERS.
  4. COORDINATE AND VERIFY ALL FIXTURE INFORMATION, TYPES AND FINAL LOCATIONS WITH THE REFLECTED CEILING PLAN.
  5. LAMPS SHALL BE AS MANUFACTURED BY SYLVANIA, WESTINGHOUSE, GENERAL ELECTRIC OR APPROVED EQUAL.

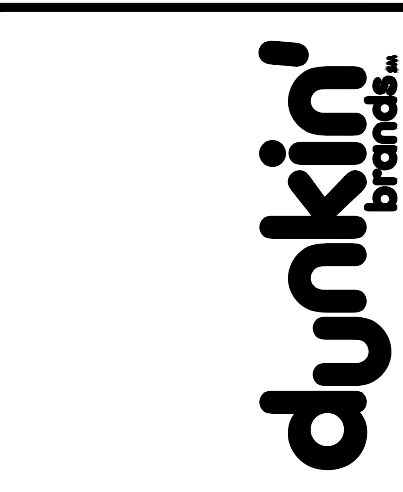
**CEILING LEGEND**



**1 REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"

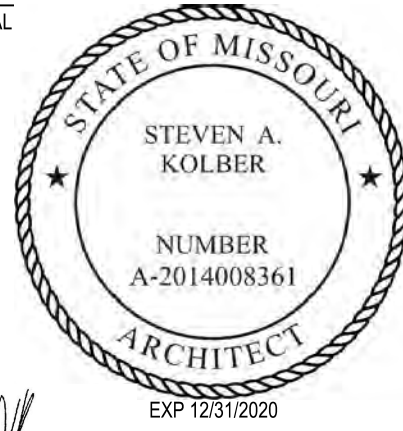


SPACE INTENTIONALLY LEFT BLANK FOR CITY APPROVAL / STAMPS



**kolbrook design**  
ARCHITECT  
160 N. MAIN ST. SUITE 300  
EVANSTON, ILL. 60201  
OFFICE: 847.462.1992 | FAX: 312.483.8689

CIVIL ENGINEER  
STOCK & ASSOCIATES CONSULTING ENGINEERING  
STRUCTURAL ENGINEER  
LANDSCAPE ARCHITECT  
PANELA SELF LANDSCAPE ARCHITECTS  
MEP ENGINEER  
NEW YORK ENGINEERS  
DEVELOPER



**DD TWIN OAKS, MO**  
PROJECT:  
14110 BIG BEND ROAD  
TWIN OAKS, MO 65088  
PC # 359804

DESCRIPTION	DATE
FOR PERMIT	07/24/2020

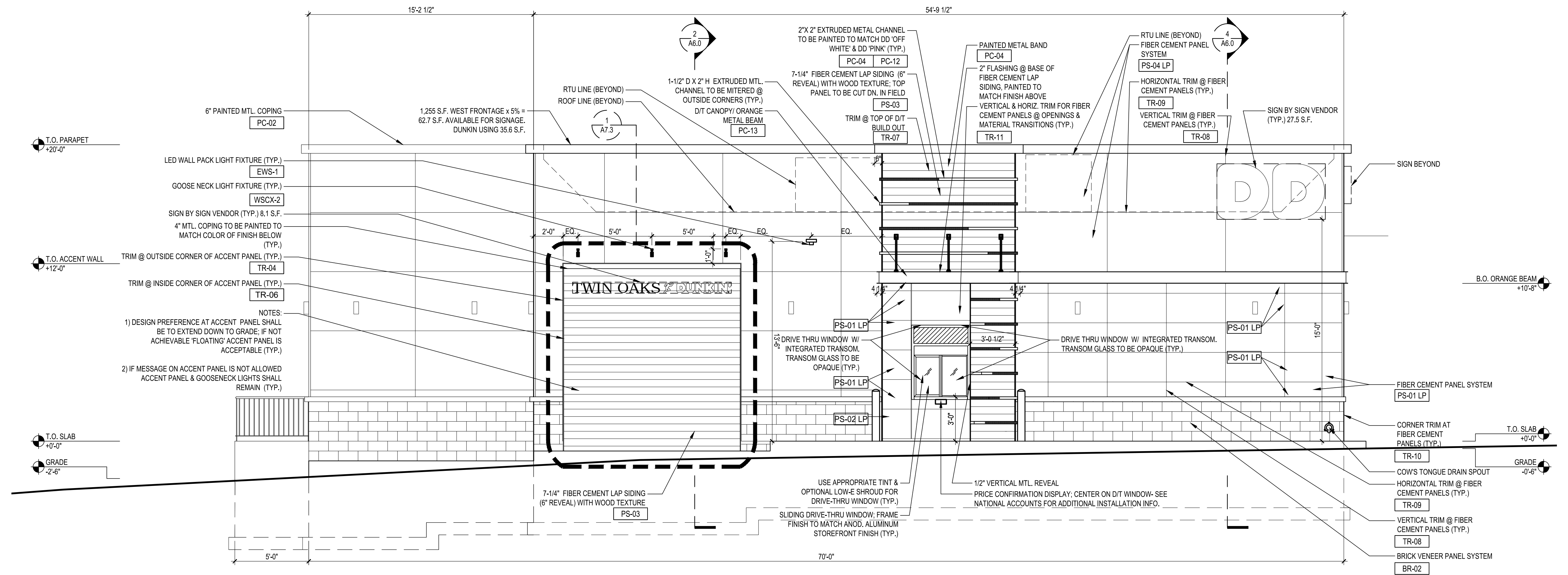
DRAWN BY: VM, CD, ED  
CHECKED BY: SWS  
SHEET TITLE:

REFLECTED CEILING PLAN, SCHEDULE & NOTES  
SHEET NO.  
**A2.0**

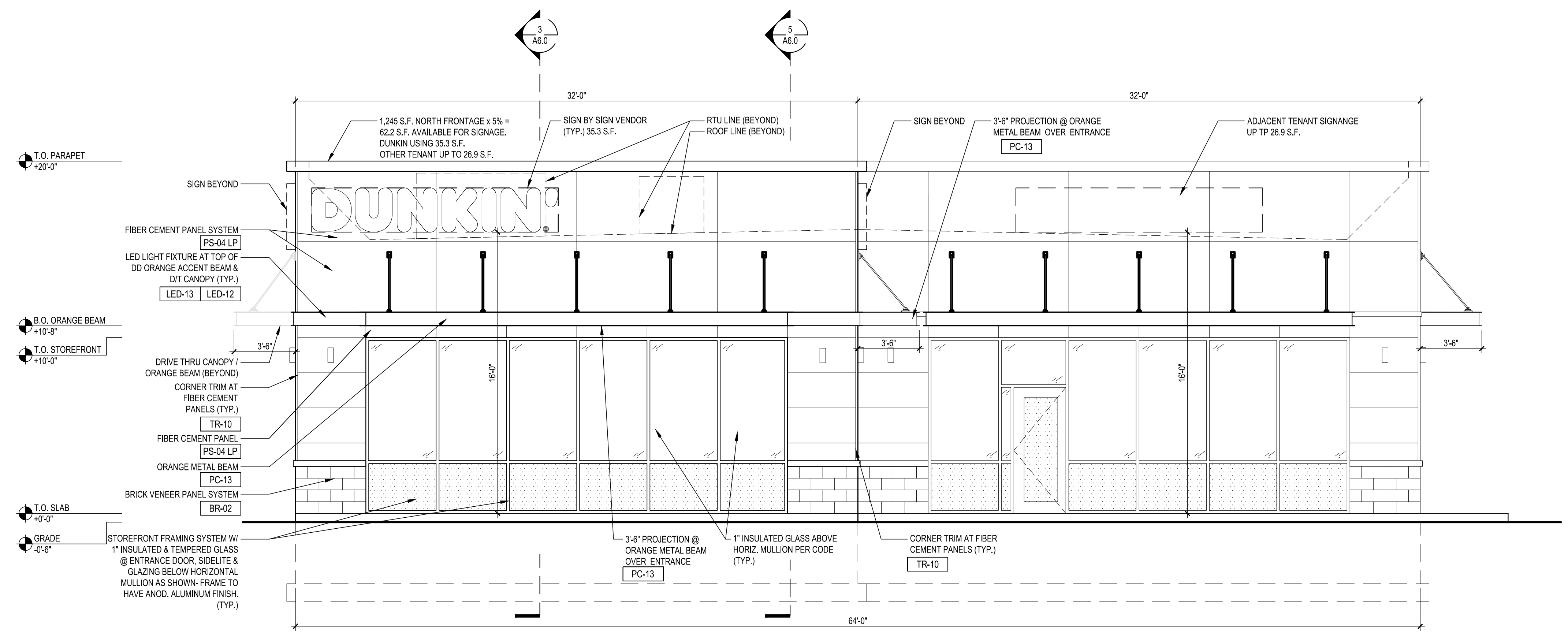
Kolbrook Job No. 1640.002 Consultant Job No.



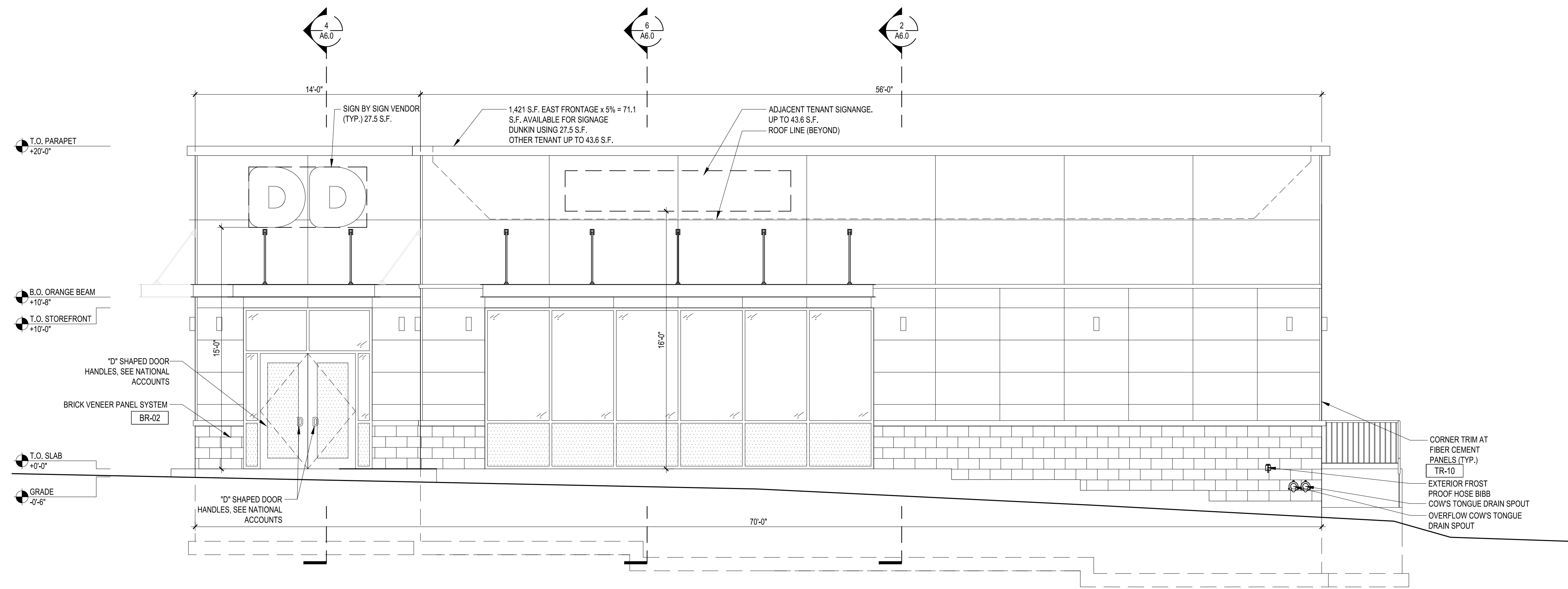




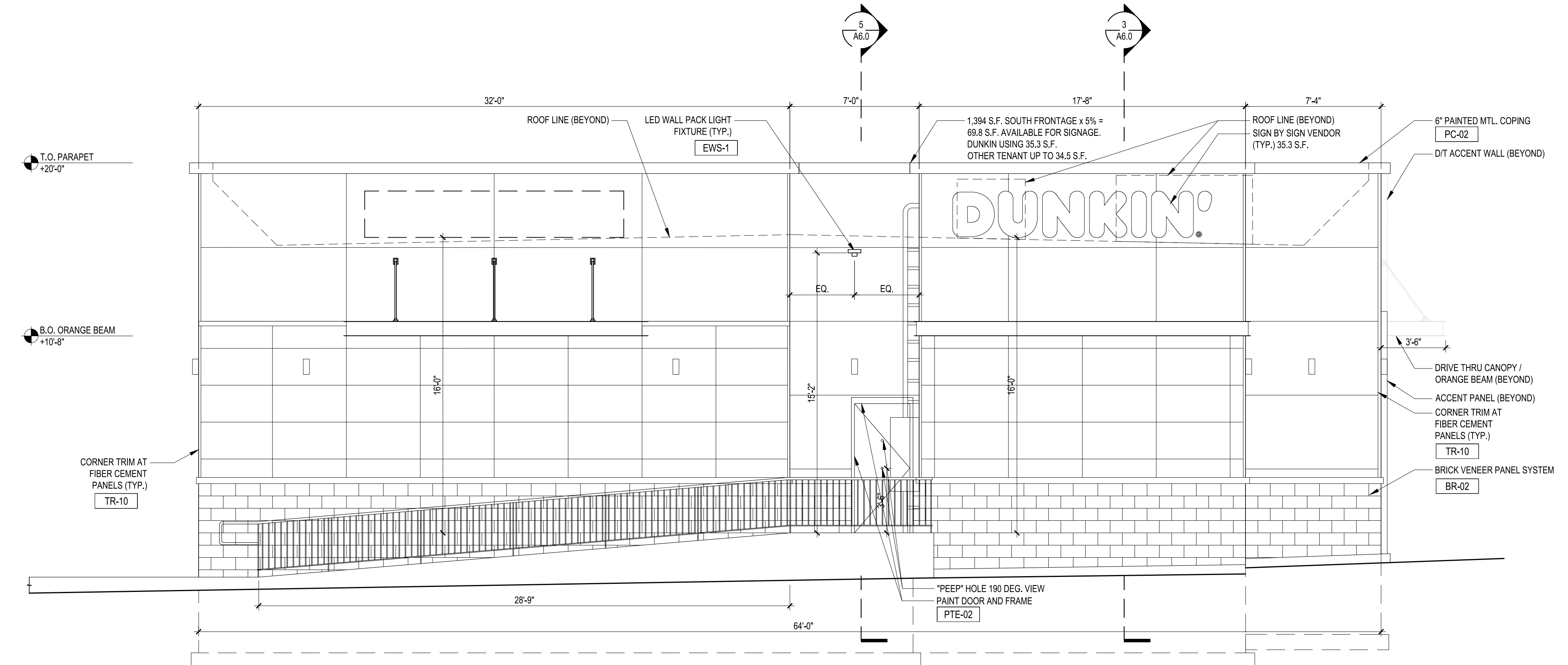
**2 EAST EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



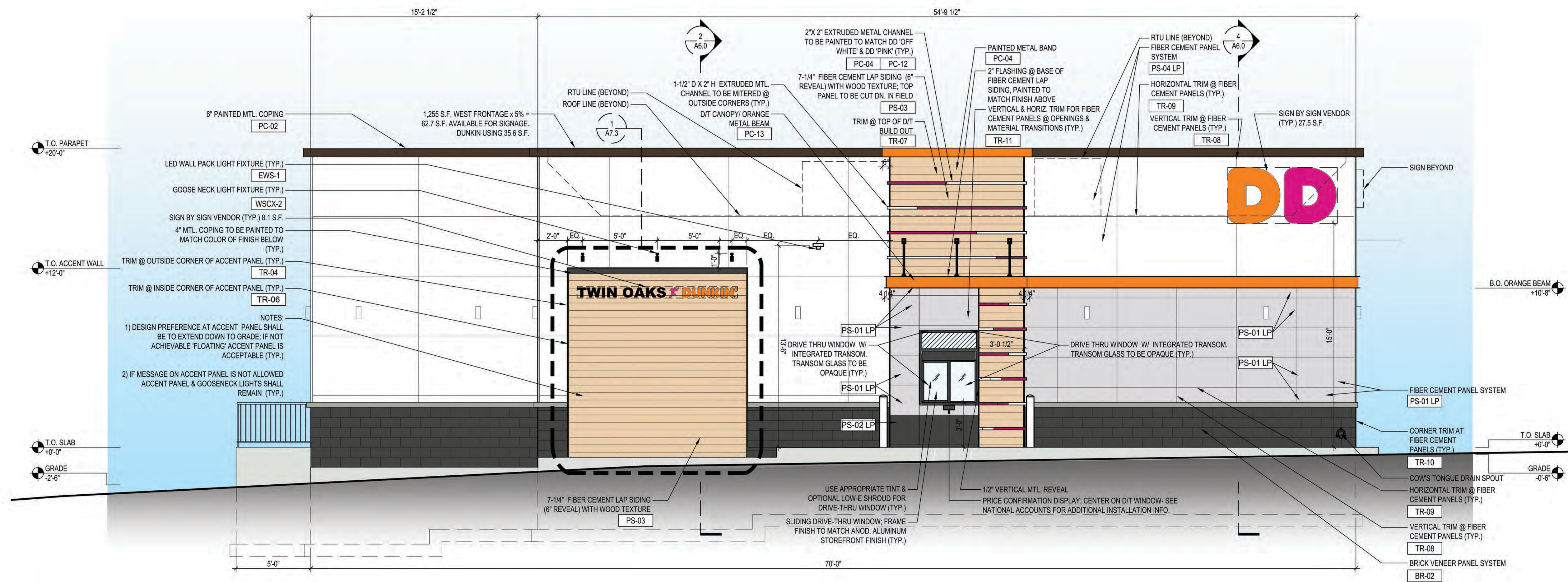
**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



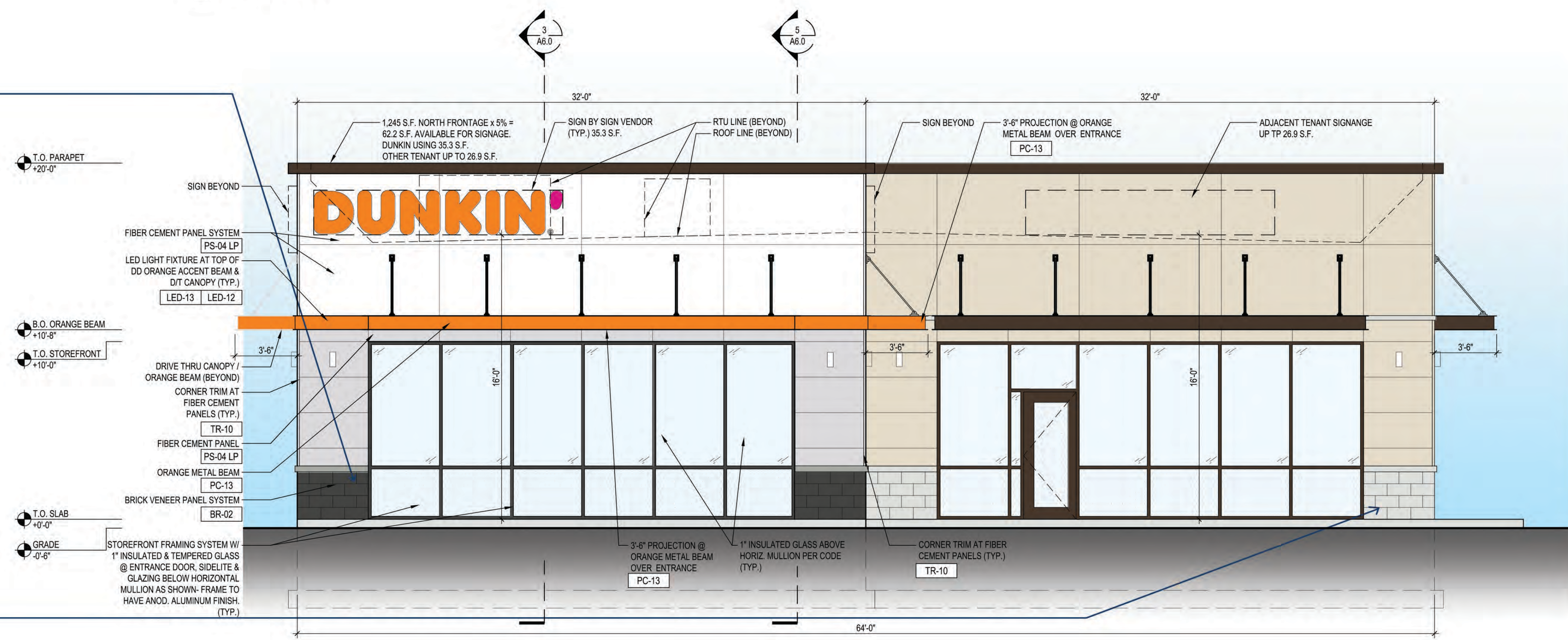
**2 WEST EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 SOUTH EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 EAST EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

HOME / PRODUCTS / ARCHITECTURAL WALL PANELS / MODERNBRICK

**MODERNBRICK**  
BRICK SERIES

- Bold, sophisticated appeal
- A new take on a classic look
- Ideal for exterior or wider installation

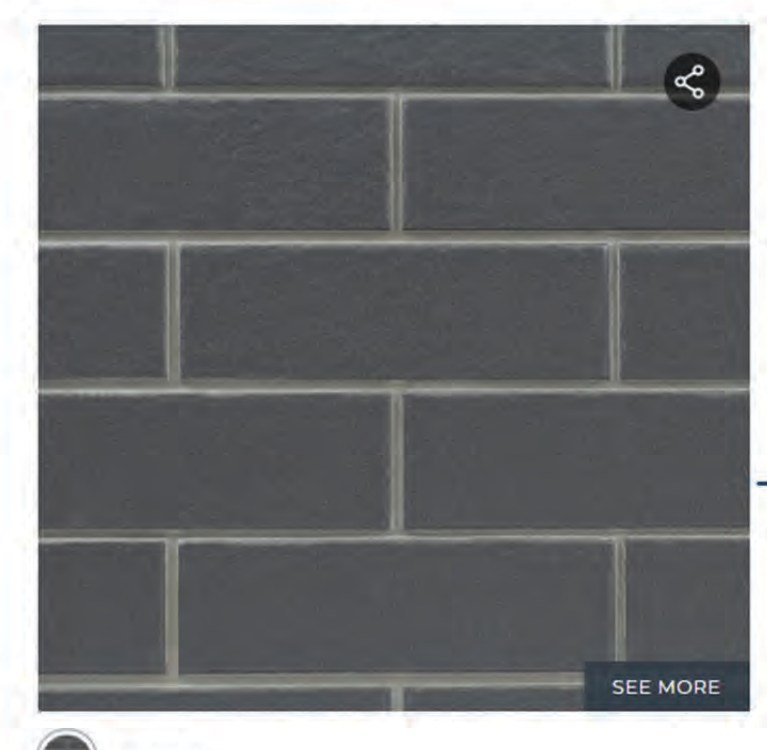
FEATURES

SPECIFICATIONS

MORE SPECS

Dimensions (in.)	17.58 x 11.91 x 3.12
Dimensions (actual mm)	445.14 x 302.01 x 79.18
Thickness (in.)	3/8"
Thickness (actual mm)	9.52
Weight (lbs. per sq. ft.)	36.4
Weight (kg. per sq. m.)	4.1
Exposed Coverage (sq. ft. per panel)	0.89
Packaging (panels per panel)	2 (7.75 sq. ft.)
Panel Orientation	Horizontal

SEE MORE



HOME / PRODUCTS / ARCHITECTURAL WALL PANELS / CANYONBRICK

**CANYONBRICK**  
BRICK SERIES

- Distinguished look of brick
- Gray and Brown Tones Create an Inviting Earthy Palette
- Uneven Surface and Grout for Natural Appeal

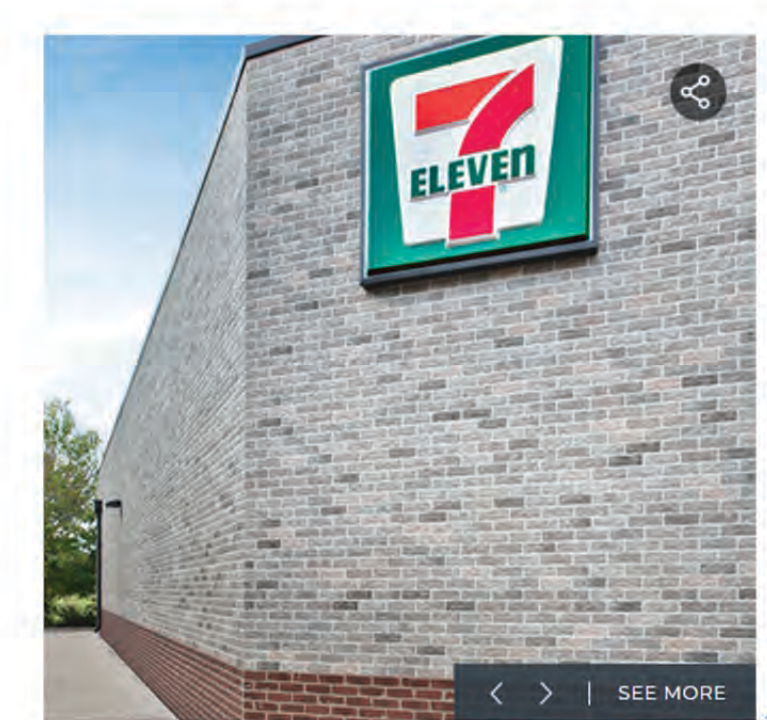
FEATURES

SPECIFICATIONS

MORE SPECS

Dimensions (in.)	17.58 x 11.91 x 3.12
Dimensions (actual mm)	445.14 x 302.01 x 79.18
Thickness (in.)	3/8"
Thickness (actual mm)	9.52
Weight (lbs. per sq. ft.)	36.2
Weight (kg. per sq. m.)	3.9
Exposed Coverage (sq. ft. per panel)	0.89
Packaging (panels per panel)	2 (7.75 sq. ft.)
Panel Orientation	Horizontal

SEE MORE



**dunkin' brands.**

**kolbrook design**

ARCHITECT

CIVIL ENGINEER  
STOCK & ASSOCIATES CONSULTING ENGINEERING

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT  
PAMELA SELF LANDSCAPE ARCHITECTS

MEP ENGINEER  
NEW YORK ENGINEERS

DEVELOPER

SEAL

STATE OF MISSOURI  
STEVEN A. KOLBER  
NUMBER A-2014008361  
ARCHITECT  
Exp. 10/1/2020

PROJECT: **DD TWIN OAKS, MO**

1410 BIG BEND ROAD  
TWIN OAKS, MO 63088  
PC #: 359804

DRAWING ISSUE

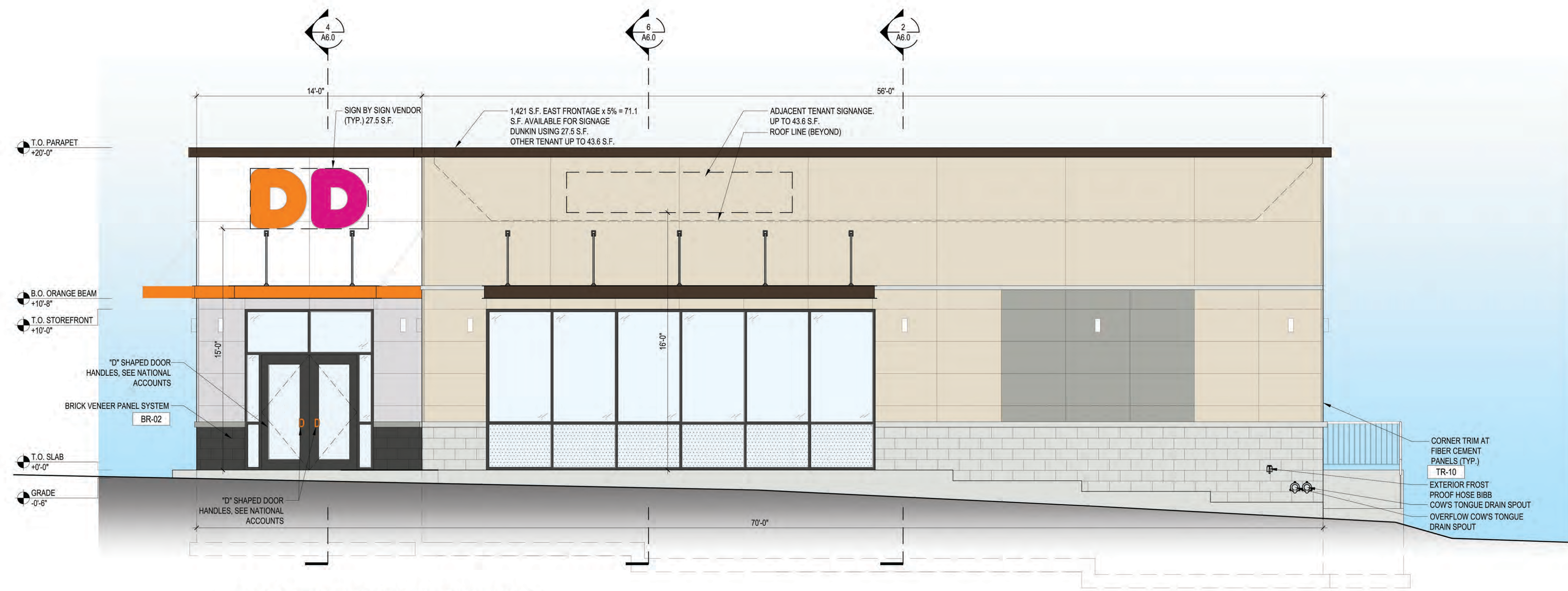
DESCRIPTION	DATE
FOR PERMIT	07/24/2020

DRAWN BY: WM, CD, ED  
CHECKED BY: SWB  
SHEET TITLE

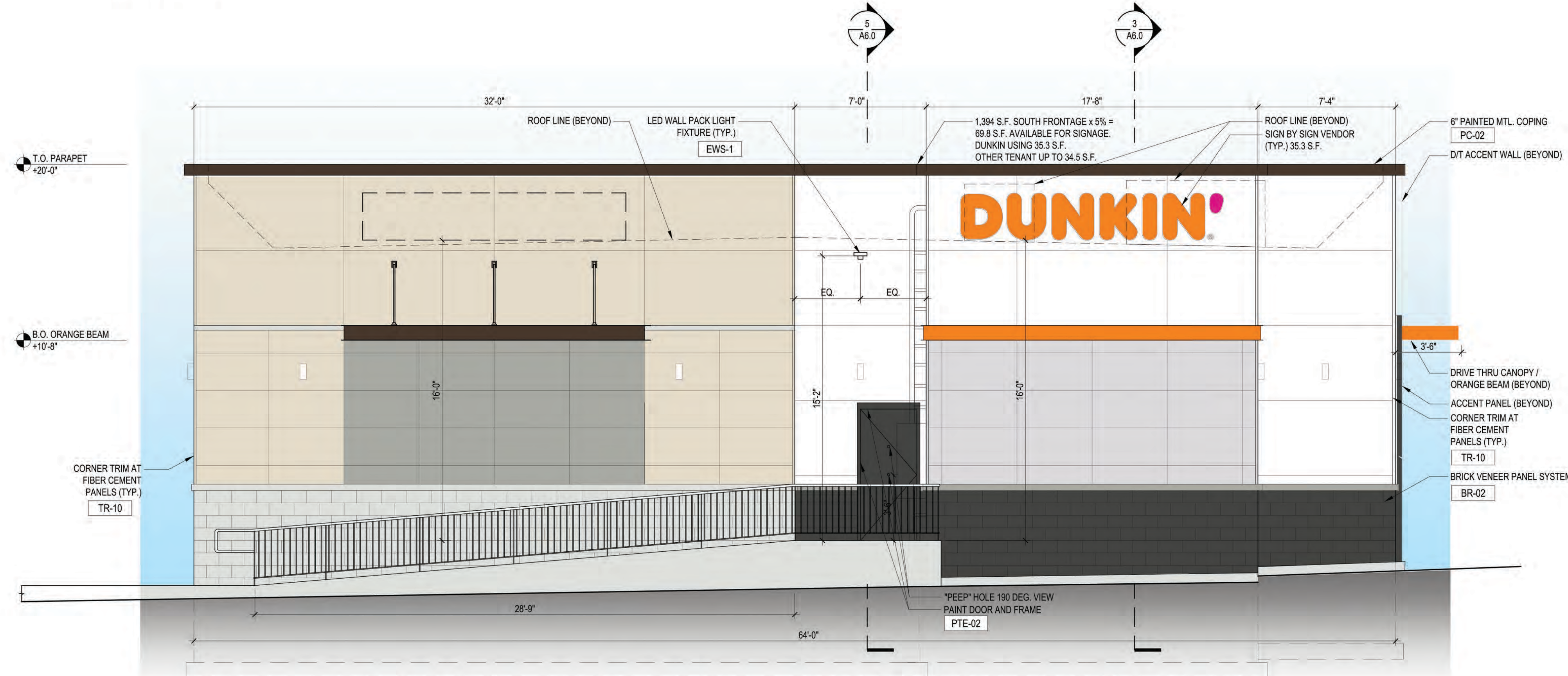
EXTERIOR ELEVATIONS

SHEET NO. **A5.0**

Kolbrook Job No. 1640.002 Consultant Job No.



**2 WEST EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"

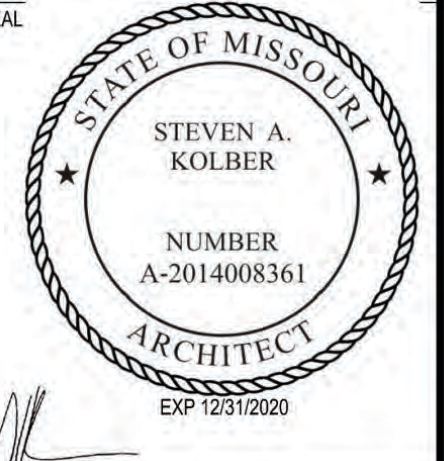


**1 SOUTH EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



ARCHITECT  
**kolbrook design**  
828 DAVIS ST., SUITE 300  
COPPER HILL, MO 64002 | FAX: 312.653.8998

CIVIL ENGINEER  
STOCK & ASSOCIATES CONSULTING ENGINEERING  
STRUCTURAL ENGINEER  
LANDSCAPE ARCHITECT  
PAMELA SELF LANDSCAPE ARCHITECTS  
MEP ENGINEER  
NEW YORK ENGINEERS  
DEVELOPER



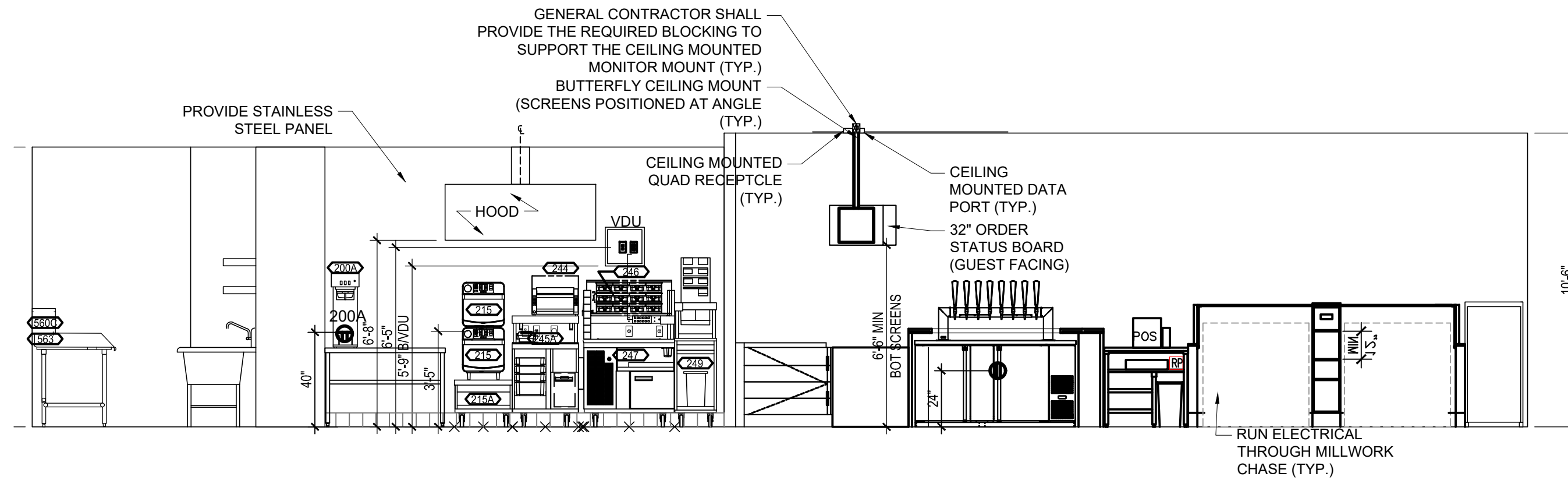
PROJECT: **DD TWIN OAKS, MO**  
1410 BIG BEND ROAD  
TWIN OAKS, MO 63088  
PC #: 359804

DRAWING ISSUE	
DESCRIPTION	DATE
FOR PERMIT	07/24/2020

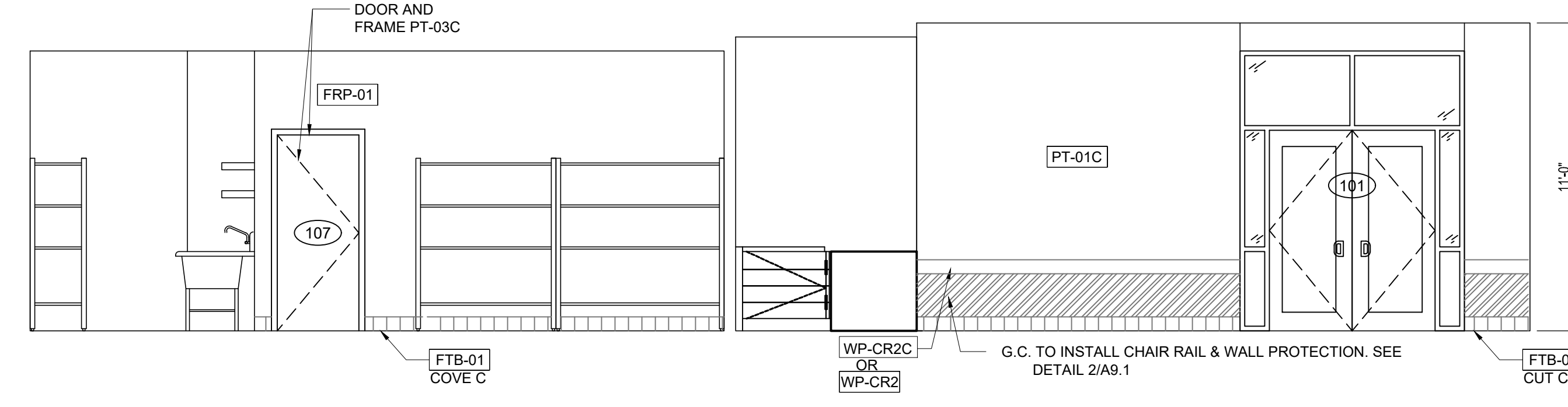
DRAWN BY: WM, CD, ED  
CHECKED BY: SWB  
SHEET TITLE: EXTERIOR ELEVATIONS

SHEET NO. **A5.1**

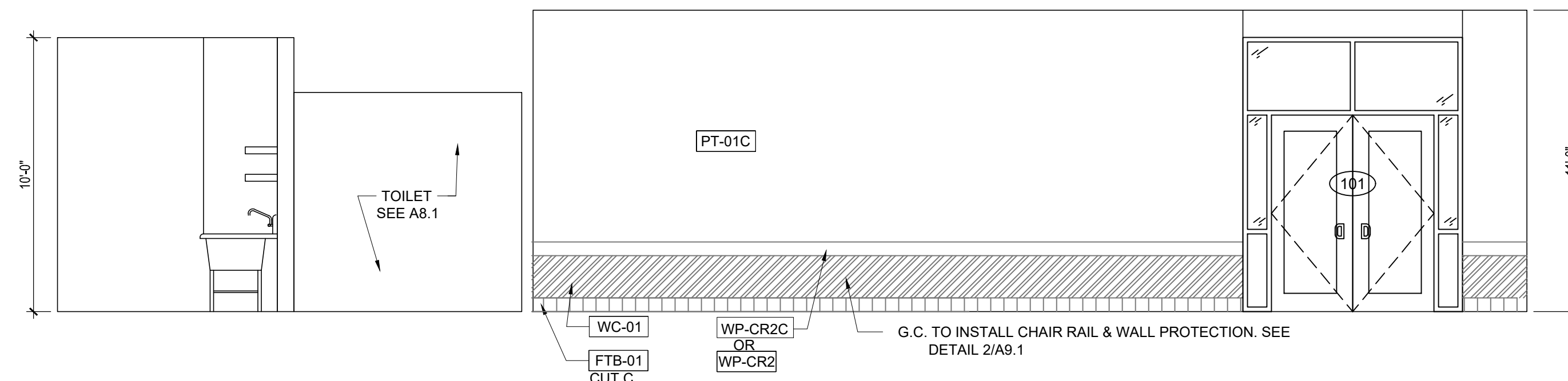
Kolbrook Job No. 1640.002 Consultant Job No.



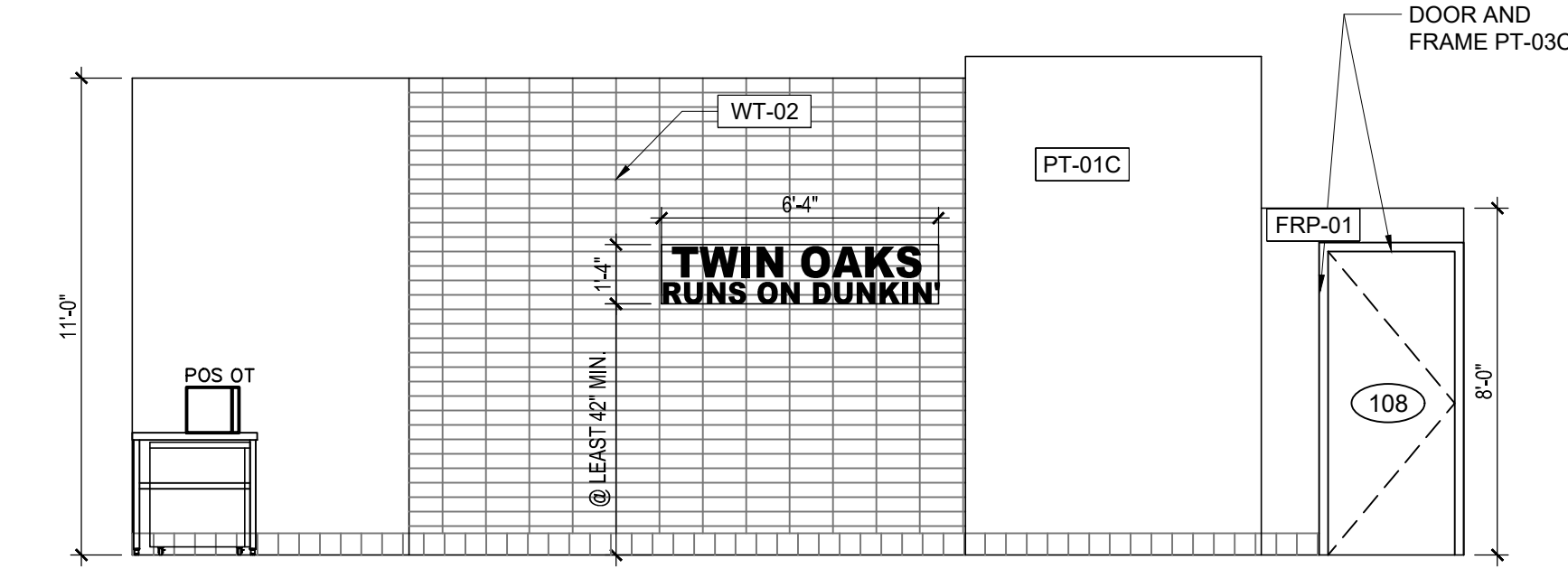
12 DINING AREA/ DUNKIN SERVICE/ KITCHEN PREP  
SCALE: 1/4" = 1'-0"



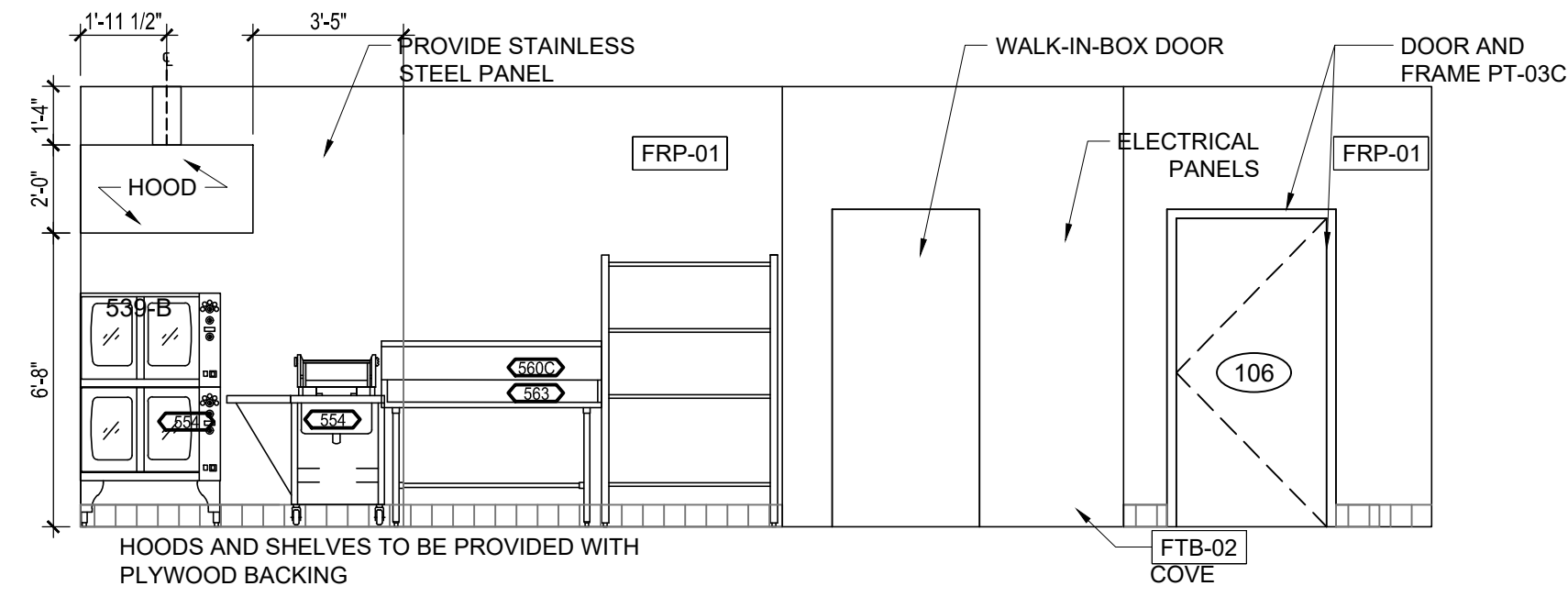
11 DINING AREA/ DUNKIN SERVICE/ KITCHEN PREP  
SCALE: 1/4" = 1'-0"



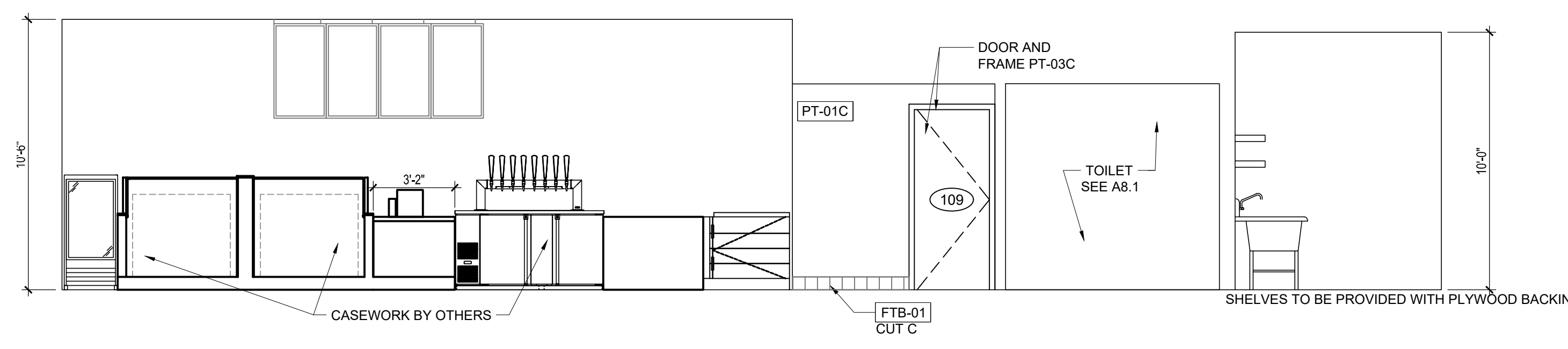
10 DINING AREA/ DUNKIN SERVICE/ KITCHEN PREP  
SCALE: 1/4" = 1'-0"



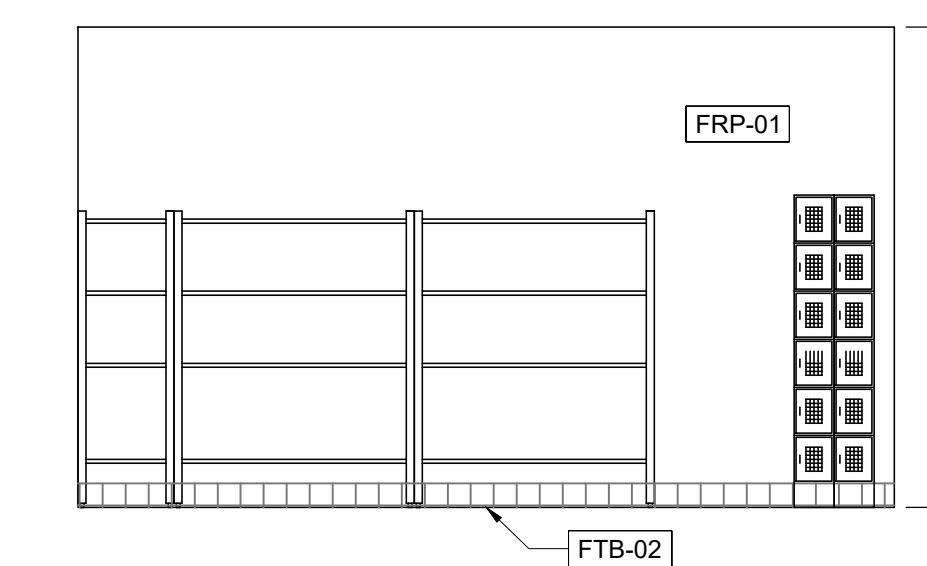
9 DINING AREA/ DUNKIN SERVICE/ KITCHEN PREP  
SCALE: 1/4" = 1'-0"



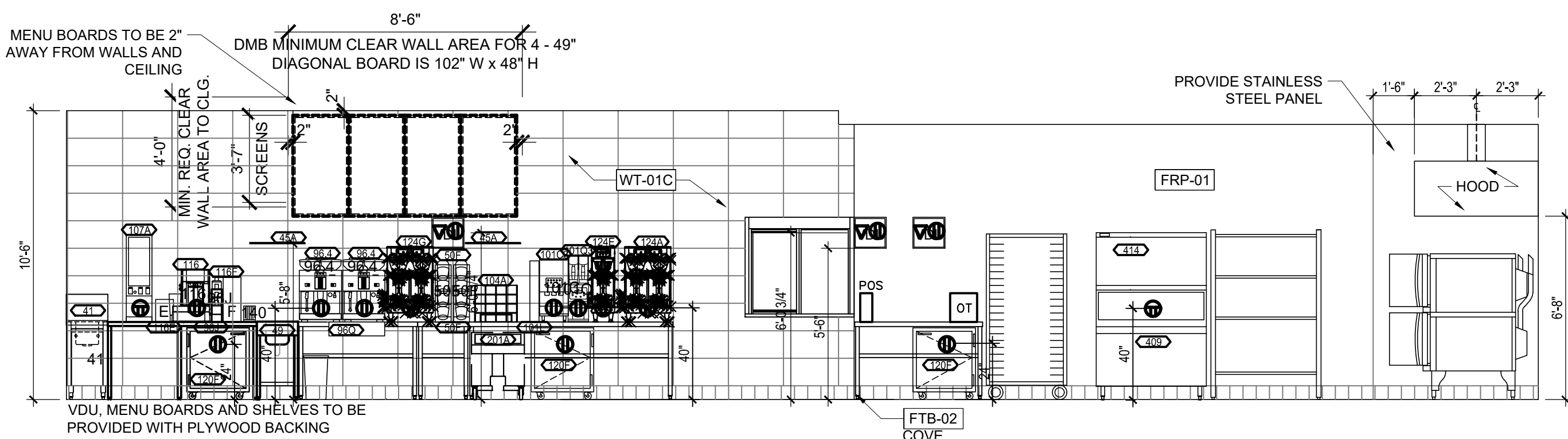
8 DINING AREA/ DUNKIN SERVICE/ KITCHEN PREP  
SCALE: 1/4" = 1'-0"



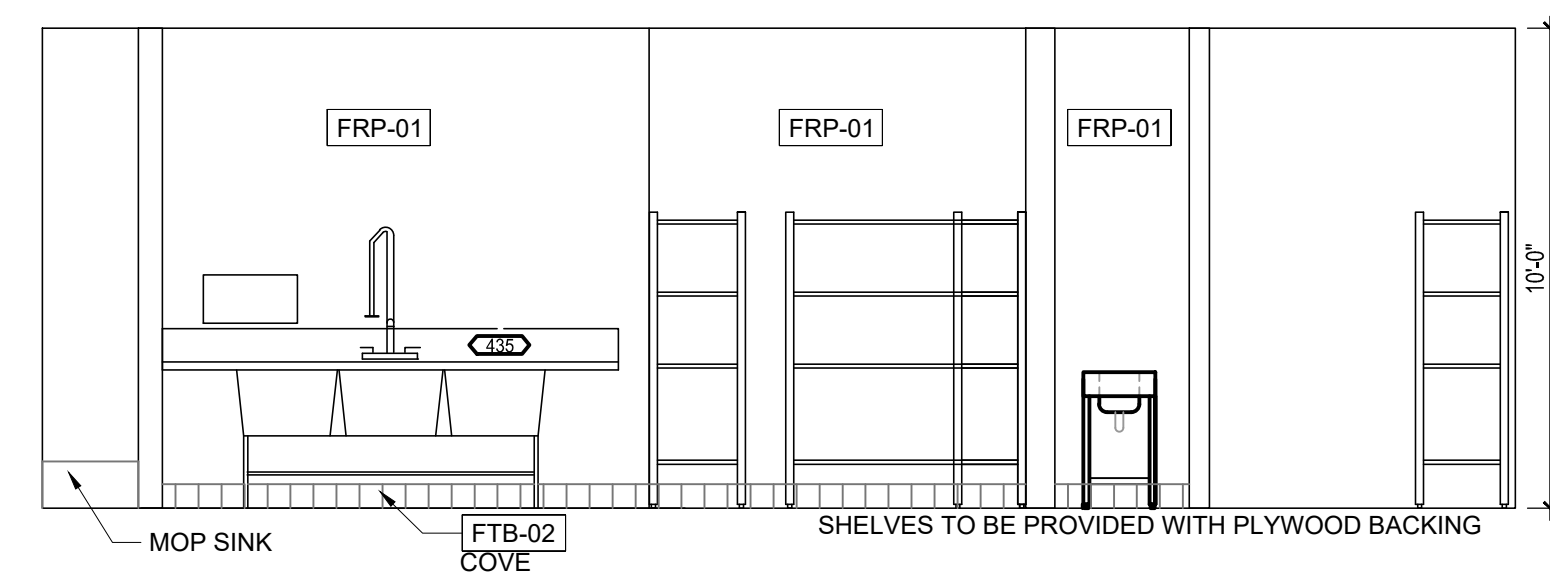
7 DINING AREA/ KITCHEN PREP  
SCALE: 1/4" = 1'-0"



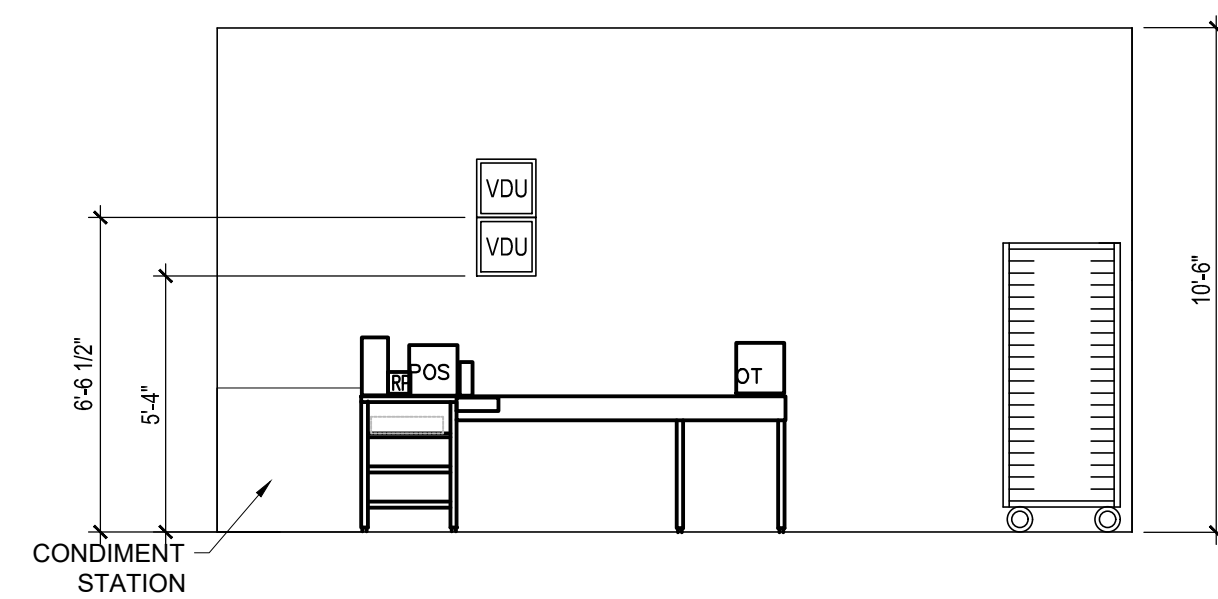
6 CUSTOMER QUEUE/ KITCHEN PREP / WALK-IN-BOX  
SCALE: 1/4" = 1'-0"



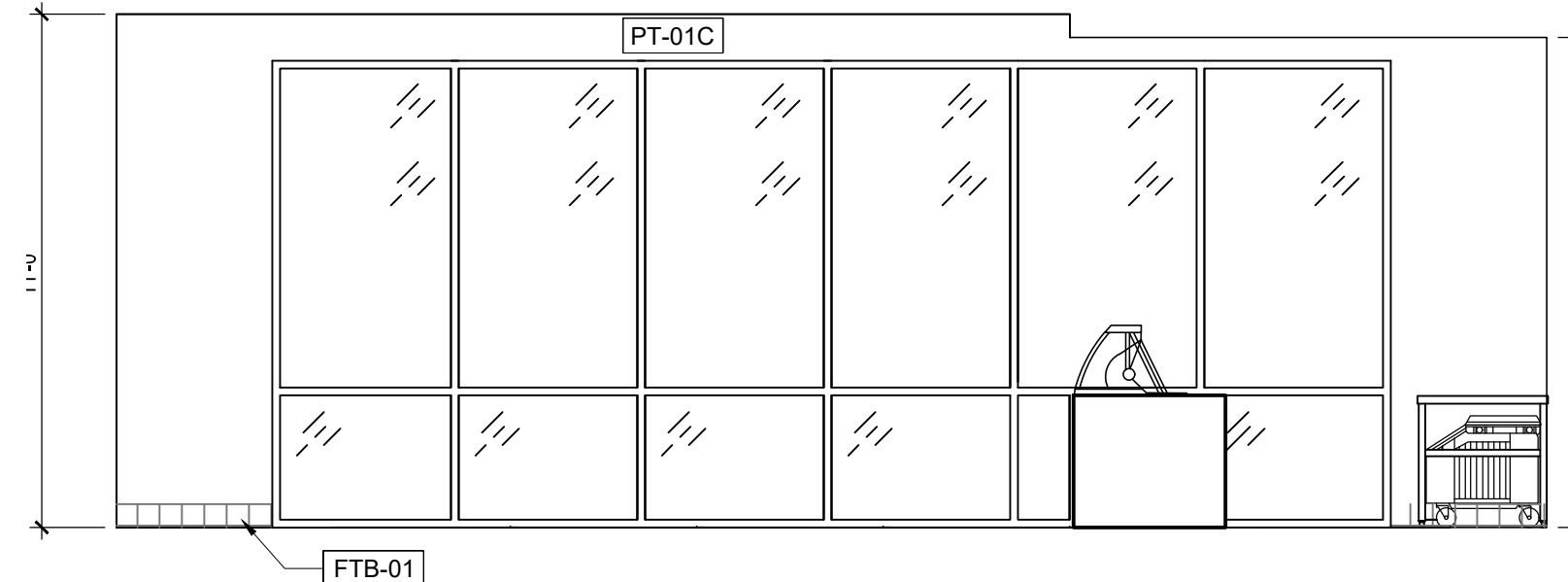
5 DUNKIN SERVICE/ KITCHEN PREP  
SCALE: 1/4" = 1'-0"



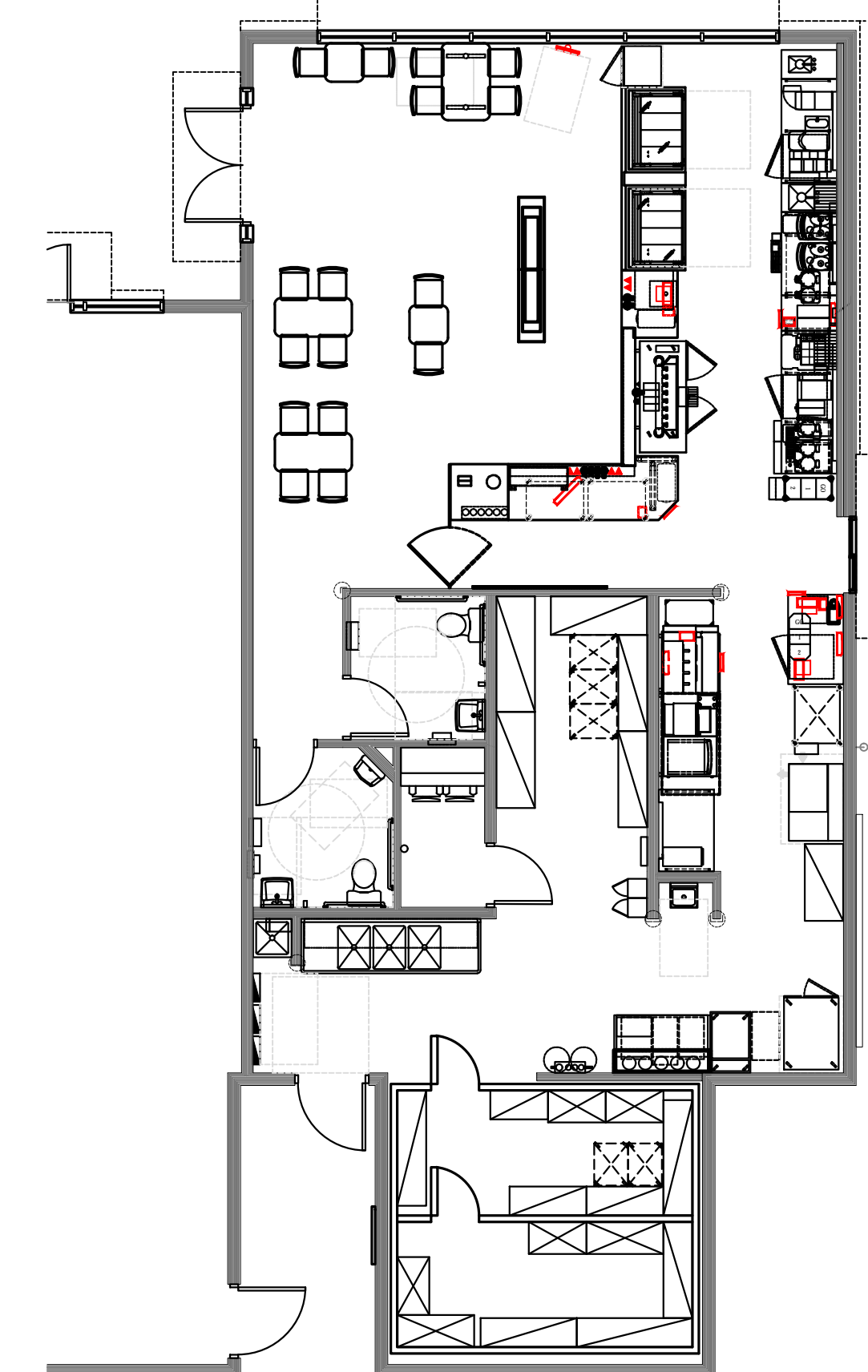
4 WALK-IN-BOX/ STORAGE  
SCALE: 1/4" = 1'-0"



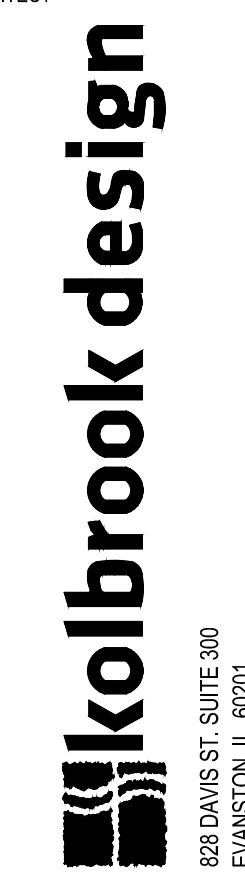
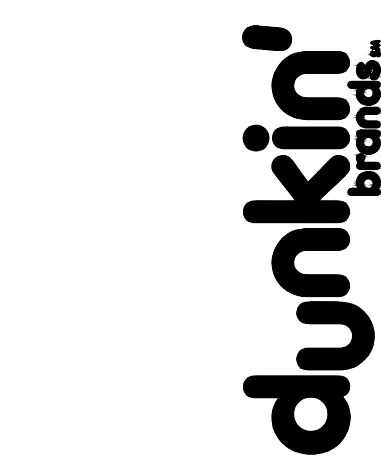
3 KITCHEN PREP / STORAGE  
SCALE: 1/4" = 1'-0"



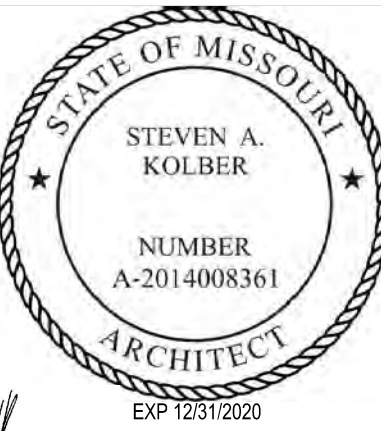
2 DUNKIN SERVICE/ DINING  
SCALE: 1/4" = 1'-0"



1 PLAN  
SCALE: 1/8" = 1'-0"



CIVIL ENGINEER  
STRUCTURAL ENGINEERING  
STRUCTURAL ENGINEER



PROJECT: **DD TWIN OAKS, MO**  
1410 BIG BEND ROAD  
TWIN OAKS, MO 63088  
PC # 358504

DESCRIPTION	DATE
FOR PERMIT	07/24/2020
DRAWING ISSUE	

INTERIOR ELEVATIONS  
SHEET NO. **A8.0**  
Kobrook Job No. 1640.002 Consultant Job No. 1640.002

RESTROOM EQUIPMENT SCHEDULE				
CODE	ITEM	MANUFACTURER & PRODUCT #	MOUNTING HEIGHT	REMARKS
1	GRAB BARS	ASI 3701-18P (18"), -36P (36") & -42P (42")	36" MAX. A.F.F.	NOTE C
2	SWING-UP GRAB BAR	BOBRICK #B-4998.99	SEE INSTALLATION INSTRUCTIONS	NOTE C, INSTALL WHEN REQUIRED
3	TOILET PAPER HOLDER	KC PROFESSIONAL 09551	20" BOT OF UNIT, SURFACE MOUNTED	
4	COAT HOOK	ASI 0751	48" A.F.F., MOUNTED ON DOOR	
5	SOAP DISPENSER	DERMA FOAM E - KAY CHEMICAL COMPANY		NOTE A, C
6	AUTOMATIC HAND DRYER	"WORLD VERDIRF Q974-A - WHITE OR Q973-A - STAINLESS OR "EXCEL" XLERATOR THIN AIR TA-SIWG - WHITE OR TA-SIWG - STAINLESS		NOTE A, C & E
7	HAND DRYER WALL GUARD	WORLD		NOTE F
8	MIRROR (18"x30")	ASI 0620-2436	40" A.F.F. TO BOTTOM	NOTE C
9	TRASH RECEPTACLE	ASI 0458	41"-45" A.F.F. TO OPENING FOR ADA	
10	BABY CHANGING STATION	ASI 9012 HORIZONTAL OR ASI 9015 VERTICAL	27" TO BOTTOM OF UNIT	NOTE C
11	SANITARY NAPKIN DISPOSAL	ASI 0852	24" TO TOP OF UNIT	WOMENS RESTROOM ONLY
12	SEAT COVER DISPENSER (OPTIONAL)	ASI 0477 SM		(OPTIONAL)
13	WALL SHELF	ASI 0692-516 (5"x16")	42" A.F.F. FOR ADA, NOTE C	(OPTIONAL)

**NOTES**

NOTE A: OPERATING CONTROLS OF ALL HAND DRYERS, SOAP DISPENSERS AND MULTI PURPOSE UNITS TO BE 42" A.F.F.

NOTE B: G.C. TO FIELD VERIFY ALL SIZES

NOTE C: PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES AND ACCESSORIES

NOTE D: TOILET TISSUE & PAPER TOWEL DISPENSERS SUPPLIED FREE FROM LOCAL DCP, INSTALLED BY G.C.

NOTE E: HAND DRYER TO BE ORDERED FROM NATIONAL ACCOUNT SUPPLIER AND IS REQUIRED TO HAVE STANDARD DBI GREEN MESSAGING/BRANDING.

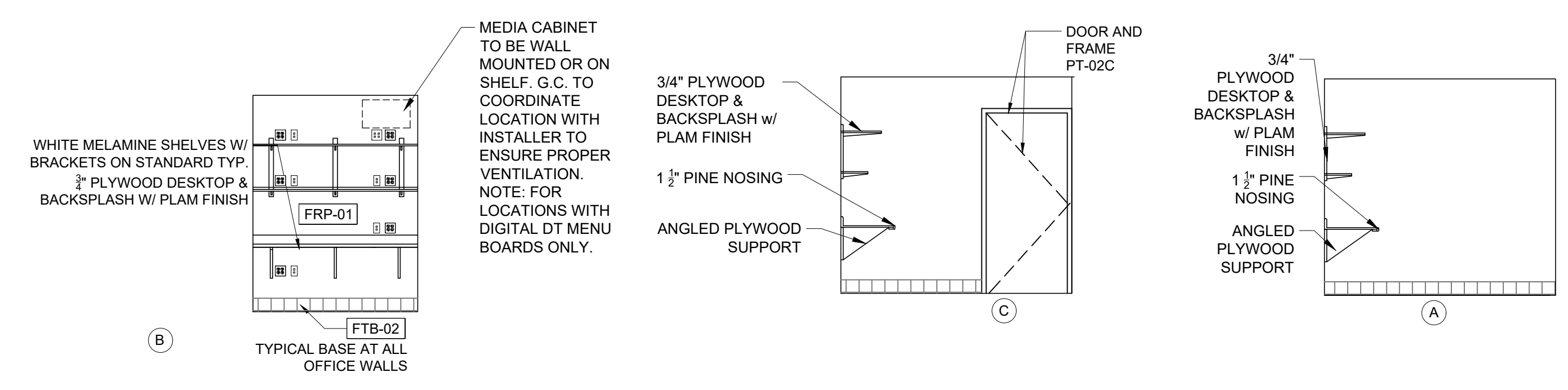
NOTE F: AVAILABLE WITH HAND DRYER, CAN BE PURCHASED SEPARATELY (FOR REMODELS)

RESTROOM EQUIPMENT LIST		
ALTERNATE HANDS-FREE TOILET EQUIPMENT IS AVAILABLE FOR OPTIONAL USE IN RESTROOMS		
WALL MOUNTED LAVATORY: "LUCERNE" BY AMERICAN STANDARD #0355.012		
AUTOMATIC FAUCET (STANDARD): SLOAN #ETP-600-B-BOT, W/ TRANSFORMER #EL-154 AND 0.5 GPM AERATOR #ETEF-1024-A.		
TANK TOILET (STANDARD): AMERICAN STANDARD CADET PRO RIGHTEIGHT ELONGATED 1.28 GPF #215AA.104 (LEFT TRIP) #215AA.105 (RIGHT TRIP)		
PRESSURE-ASSIST OPTION: AMERICAN STANDARD CADET FLOWISE WIGHTHEIGHT ELONGATED, PRESSURE ASSIST 1.1 GPF #2467.00 (LEFT TRIP) #2467.XXX (SPECIFY RIGHT TRIP)		
TANKLESS TOILET (OPTIONAL): AMERICAN STANDARD MADERA FLOWISE ELONGATED, 1.28 GPF #3043.001		
MANUAL FLUSH (STANDARD): SLOAN REGAL.111.1.28 (3780046) FLUSHOMETER		
AUTOMATIC FLUSH (OPTIONAL): SLOAN 8111-1.28 (3790071) EXPOSED, BATTERY POWERED, SENSOR ACTIVATED DUAL FLUSH FLUSHOMETER		
URINAL: AMERICAN STANDARD WASHBROOK FLOWISE 0.5 GPF HIGH EFFICIENCY URINAL #0590.001		
MANUAL FLUSH (STANDARD): SLOAN 186-0.5 (3782656) REGAL.186-1		
AUTOMATIC FLUSH (OPTIONAL): SLOAN 8186-0.5 (3790086) TOUCHFREE OPERATION, METAL COVER, OVERRIDE BUTTON & FLUSHO METER BODY LESS HANDLE OPENNER.		
WATERLESS URINAL (OPTIONAL - DD ELITE): SLOAN WATERFREE URINAL WITH SLOANTEC GLAZE WES-4000-STG (1074000)		
1. LOW FLOW PLUMBING FIXTURES MUST MEET FLOW/FLOW FIXTURE VOLUMES STANDARDS OF 1.28 GPF TOILETS, 0.5 GPF URINALS, 0.5 GPM HAND WASH FAUCETS, AND 2.2 GPM POT SINK FAUCET (BY OTHERS) WITH 1.24 GPM SPRAY HEAD (BY OTHERS)		
2. G.C. TO PROVIDE PRICING FOR STANDARD EQUIPMENT UNLESS DIRECTED OTHERWISE BY FRANCHISEE.		
VENDOR CONTACT INFO FOR RESTROOM FIXTURES AND ACCESSORIES	RESTROOM REMODELS 15 HAMMATT ST. - PO BOX 34 IPSWICH, MA 01938 PHONE: 617-500-2554   FAX: 617-945-0350 WWW.RESTROOMREMODELS.COM SALES@RESTROOMREMODELS.COM	NEWTON DISTRIBUTORS VENDOR CONTACT: PEDRO GRULLON P: 877-837-7745 E: PEDRO@NEWTONDISTRIBUTING.COM WWW.NEWTONDISTRIBUTING.COM

KITCHEN AND STORE ACCESSORIES	
A.	2 SOAP DISPENSERS - PROCTOR AND GAMBLE COMPANY - SEE NATIONAL ACCOUNT SOURCE INFO ON EXTRANET.
B.	CHEMICAL DISPENSER - PROCTOR AND GAMBLE COMPANY - SEE NATIONAL ACCOUNT SOURCE INFO ON EXTRANET.
C.	7 SHELF STANDARDS - KNAPE & VOGT, 87 ANO-24 IN
D.	14 SHELF BRACKETS - KNAPE & VOGT, 187LL ANO-12 IN
E.	14 SHELF CLIPS - KNAPE AND VOGT, 214 BLK
F.	PAPER TOWEL HOLDER - AMERICAN SPECIALTIES, INC., 0245SS

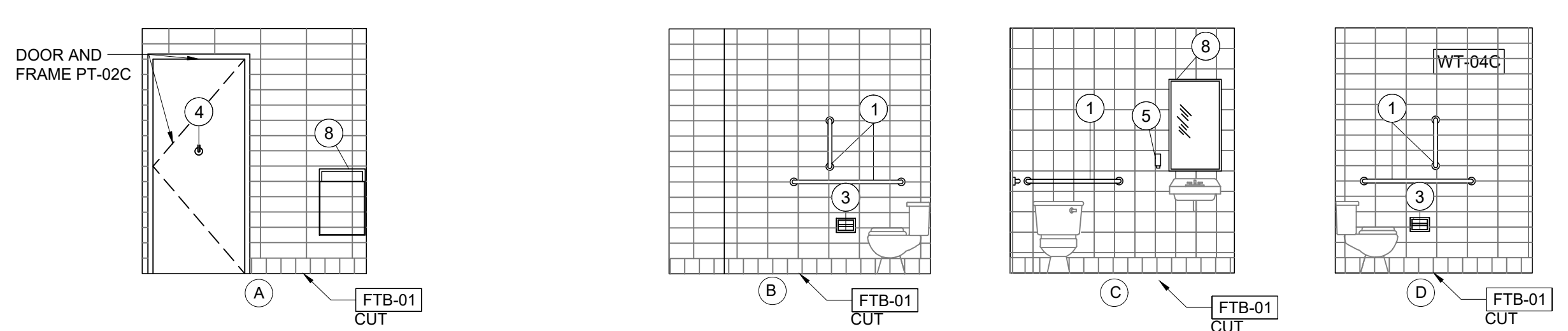
  

ADA NOTES	
THE GENERAL CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE BARRIER FREE REQUIREMENTS FOR THE APPLICABLE STATES AND THE AMERICAN DISABILITIES ACT (ADA) AND SHALL ENSURE THAT THIS FACILITY WILL BE ACCESSIBLE ACCORDING TO THE STRICTER REQUIREMENTS OF THE APPLICABLE STANDARDS. THE FOLLOWING IS A PARTIAL LIST OF REQUIREMENTS.	
A.	DOOR HARDWARE SHALL BE MOUNTED BETWEEN 36" AND 42" ABOVE FLOOR AND BE LEVER TYPE.
B.	TOILETS: <ul style="list-style-type: none"> <li>LAVATORY TO HAVE LEVER HANDLES, SELF METERING FAUCETS OR SPRING FAUCET. FAUCETS SHALL BE SET TO REMAIN OPEN FOR 10 SECONDS MINIMUM.</li> <li>A COAT HOOK 48" ABOVE THE FLOOR SHALL BE MOUNTED ADJACENT TO THE BARRIER FREE STALL DOOR.</li> <li>LOCATE THE WATER CLOSET 16" TO 18" FROM THE CENTER LINE OF THE FIXTURE TO THE WALL. THE SEAT WILL BE 17" TO 19" ABOVE THE FLOOR TO THE TOP OF SEAT. FLUSH HANDLE TO BE ON EXPOSED SIDE OF WATER CLOSET.</li> <li>PROVIDE ONE 42" AND ONE 36" LONG x 1 1/2" OUTSIDE DIAMETER PEENED GRAB BARS, 1 1/2" FROM THE WALL WITH ONE BEHIND AT 12" FROM CENTER LINE OF WATER CLOSET ON ONE SIDE. ONE ADJACENT TO AT 12" FROM THE WALL 33"-36" PARALLEL TO AND ABOVE THE FLOOR.</li> <li>LAVATORY TO BE MOUNTED 34" MAX. ABOVE THE FINISHED FLOOR TO RIM WITH KNEE SPACE OF 30" IN WIDTH AND 27" IN CLEAR HEIGHT. (29" CLEAR UNDER FRONT EDGE)</li> <li>INSTALL MIRROR 40" MAX. ABOVE THE FINISHED FLOOR TO BOTTOM EDGE OF REFLECTING SURFACE (MIRROR GLASS BOTTOM AND 72" TO TOP).</li> <li>DISPENSERS TO BE MOUNTED A MAXIMUM OF 42" ABOVE THE FLOOR TO ALL OPERATING OR DISPENSING SLOTS.</li> <li>TOILET PAPER DISPENSERS MOUNTED 19" MIN. TO CENTER LINE ABOVE THE FLOOR AND 7" MINIMUM AND 9" MAXIMUM FROM FRONT EDGE OF WATER CLOSET MEASURED TO THE CENTERLINE OF THE DISPENSER</li> </ul>



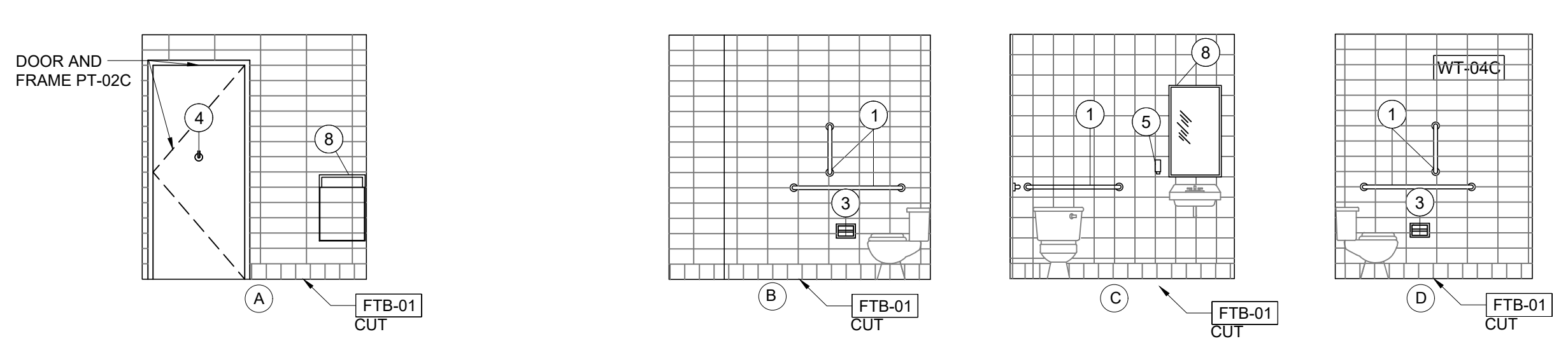
**4 OFFICE**  
SCALE: 1/4" = 1'-0"

FTB-01 CUT C TYPICAL BASE TILE AT ALL TOILET WALLS  
WT-03C TYPICAL WALL TILE  
WT-04 TYPICAL ACCENT TILE @ LAVATORY WALL

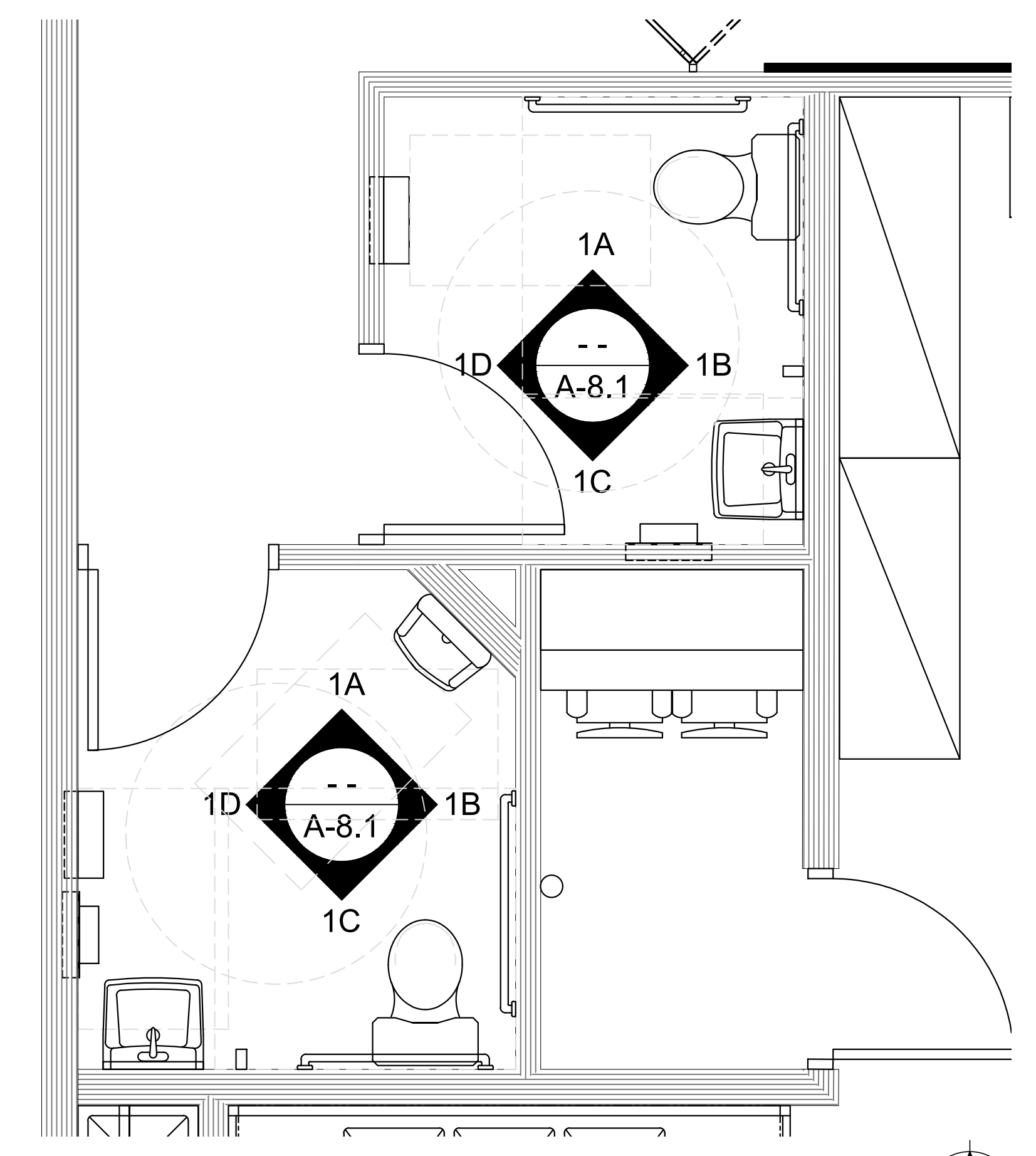


**3 TOILET ROOM 109**  
SCALE: 1/4" = 1'-0"

FTB-01 CUT C TYPICAL BASE TILE AT ALL TOILET WALLS  
WT-03C TYPICAL WALL TILE  
WT-04 TYPICAL ACCENT TILE @ LAVATORY WALL



**2 TOILET ROOM 108**  
SCALE: 1/4" = 1'-0"



**1 PLAN**  
SCALE: 1/2" = 1'-0"

SPACE INTENTIONALLY LEFT BLANK FOR CITY APPROVAL / STAMPS

**dunkin'**  
brands

**kolbrook design**

666 DAVIS ST., SUITE 300  
OFFICE 847.462.1985 | FAX: 312.433.8669

CIVIL ENGINEER  
STOCK & ASSOCIATES CONSULTING ENGINEERING

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT  
PAMELA SELF LANDSCAPE ARCHITECTS

MEP ENGINEER  
NEW YORK ENGINEERS

DEVELOPER

SEAL

STATE OF MISSOURI  
STEVEN A. KOLBER  
NUMBER  
A-2014008361  
ARCHITECT  
EXP. 10/31/2020

PROJECT: **DD TWIN OAKS, MO**

1410 BIG BEND ROAD  
TWIN OAKS, MO 63088  
PC # 358604

DRAWING ISSUE

DESCRIPTION	DATE
FOR PERMIT	07/24/2020

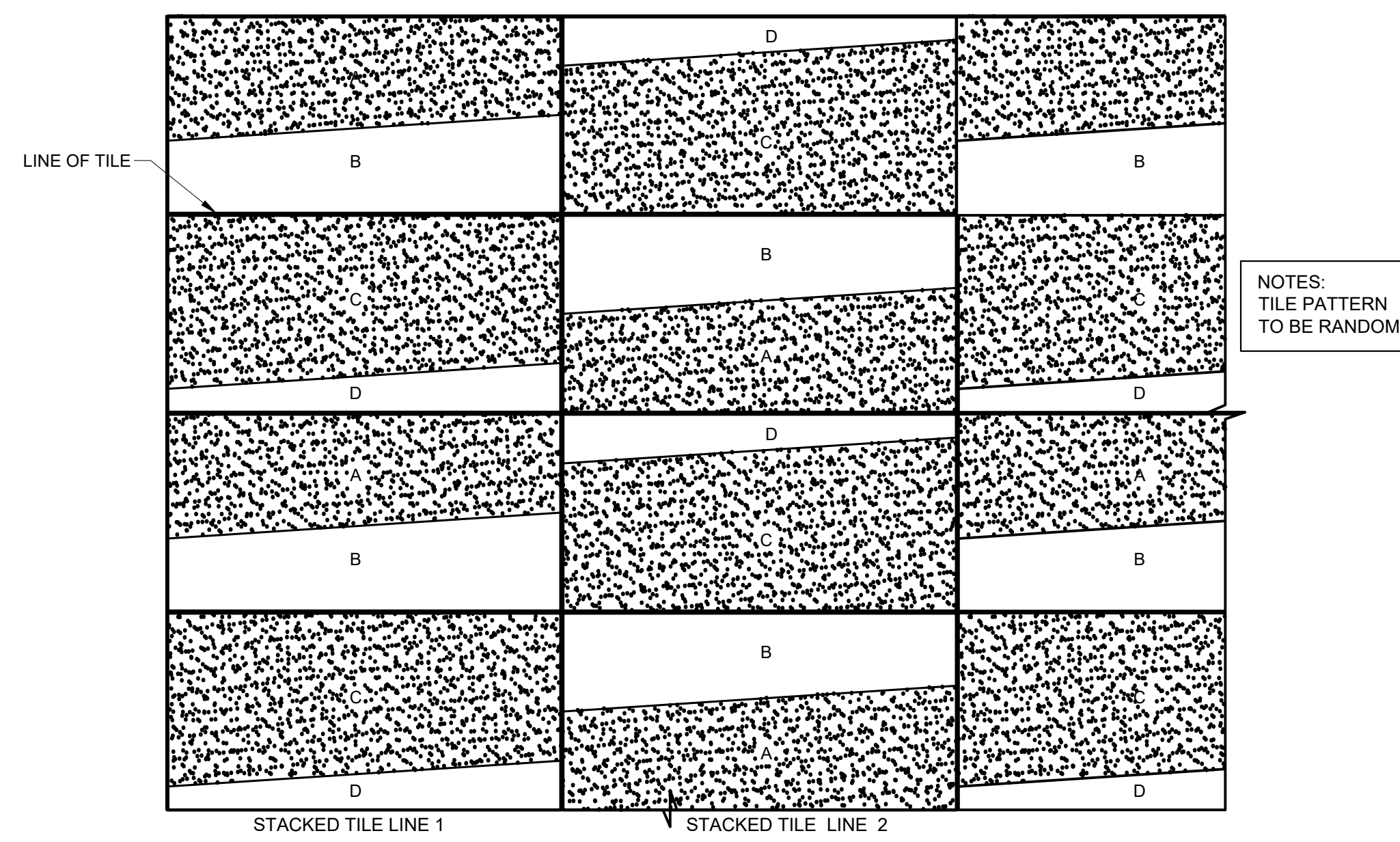
DRAWN BY: WM, CD, ED  
CHECKED BY: SWB  
SHEET TITLE

INTERIOR ELEVATIONS

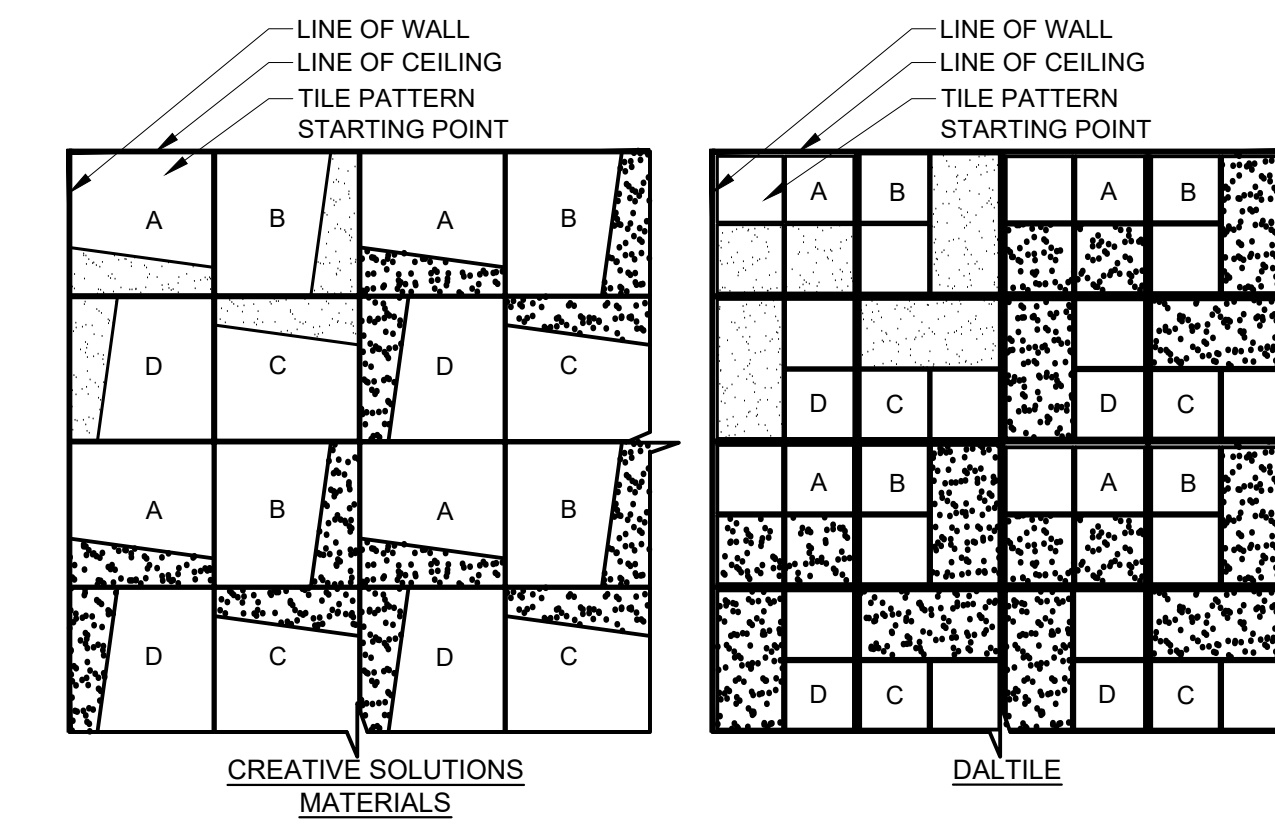
SHEET NO.

**A8.1**

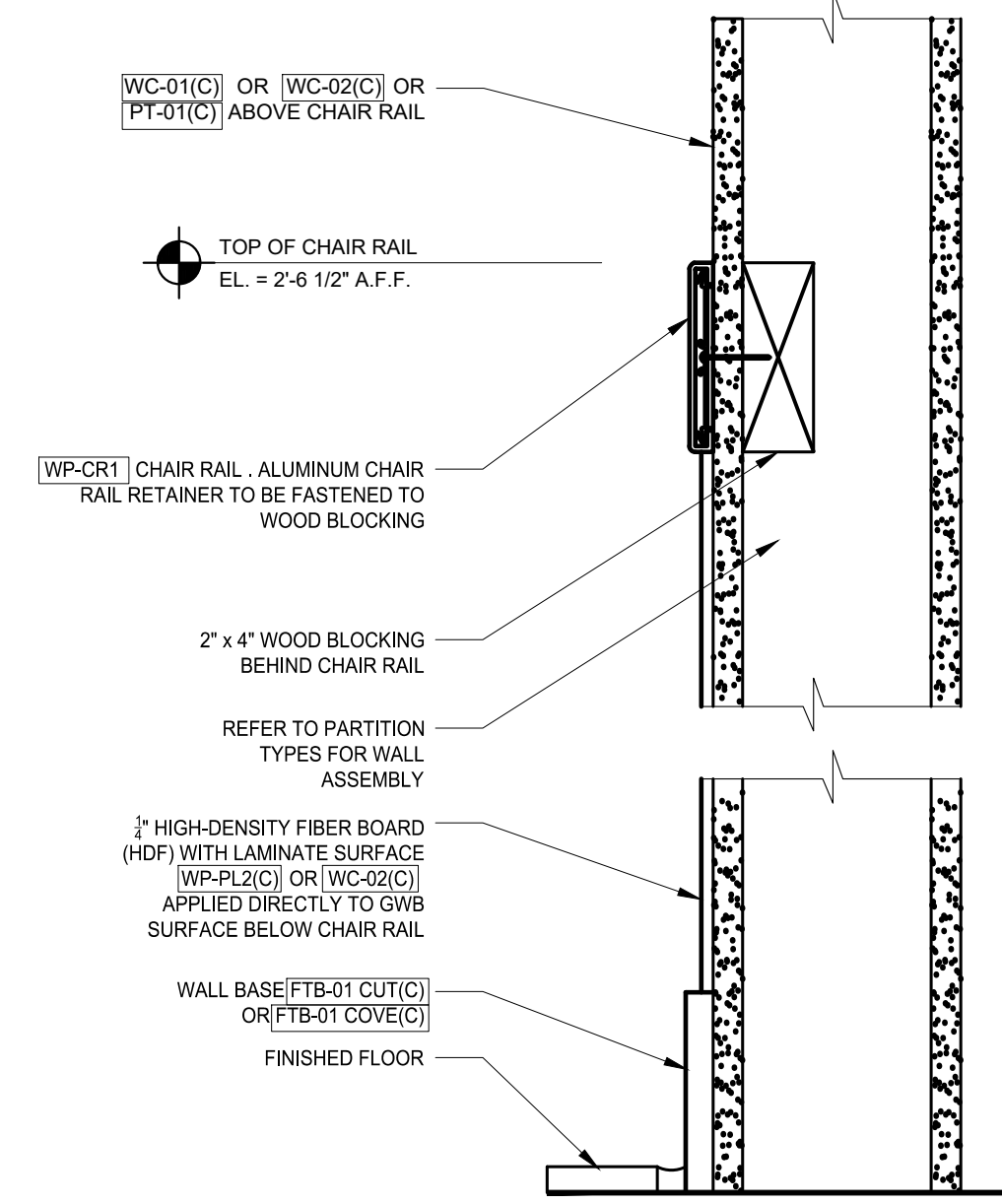
Kolbrook Job No. 1640.002 Consultant Job No.



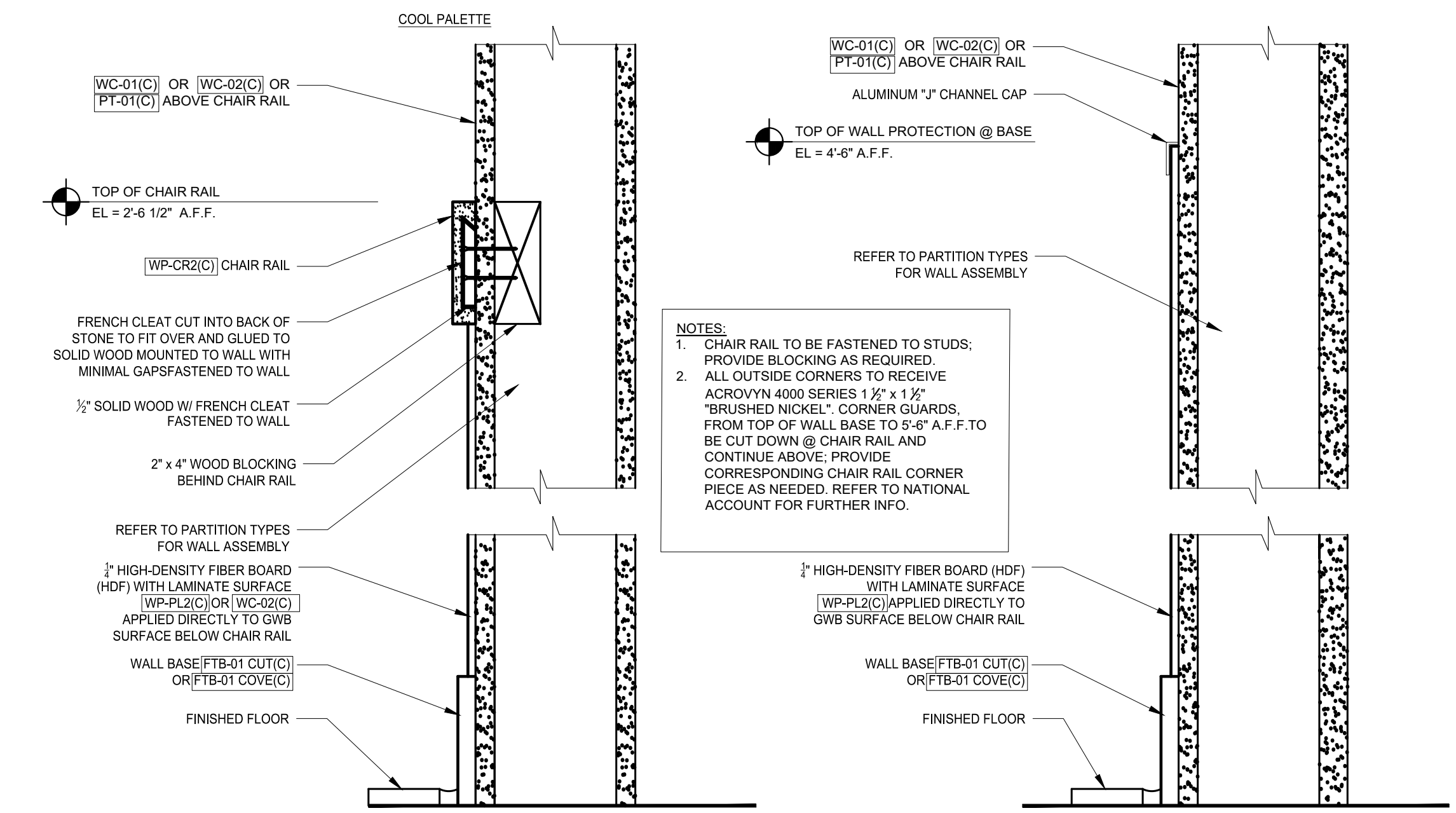
**4 WALL TILE INSTALLATION PATTERN @ BACKLINE /SERVICE**  
SCALE: 1 1/2" = 1'-0"



**3 ACCENT WALL TILE INSTALLATION PATTERN @ RESTROOM**  
SCALE: 1 1/2" = 1'-0"

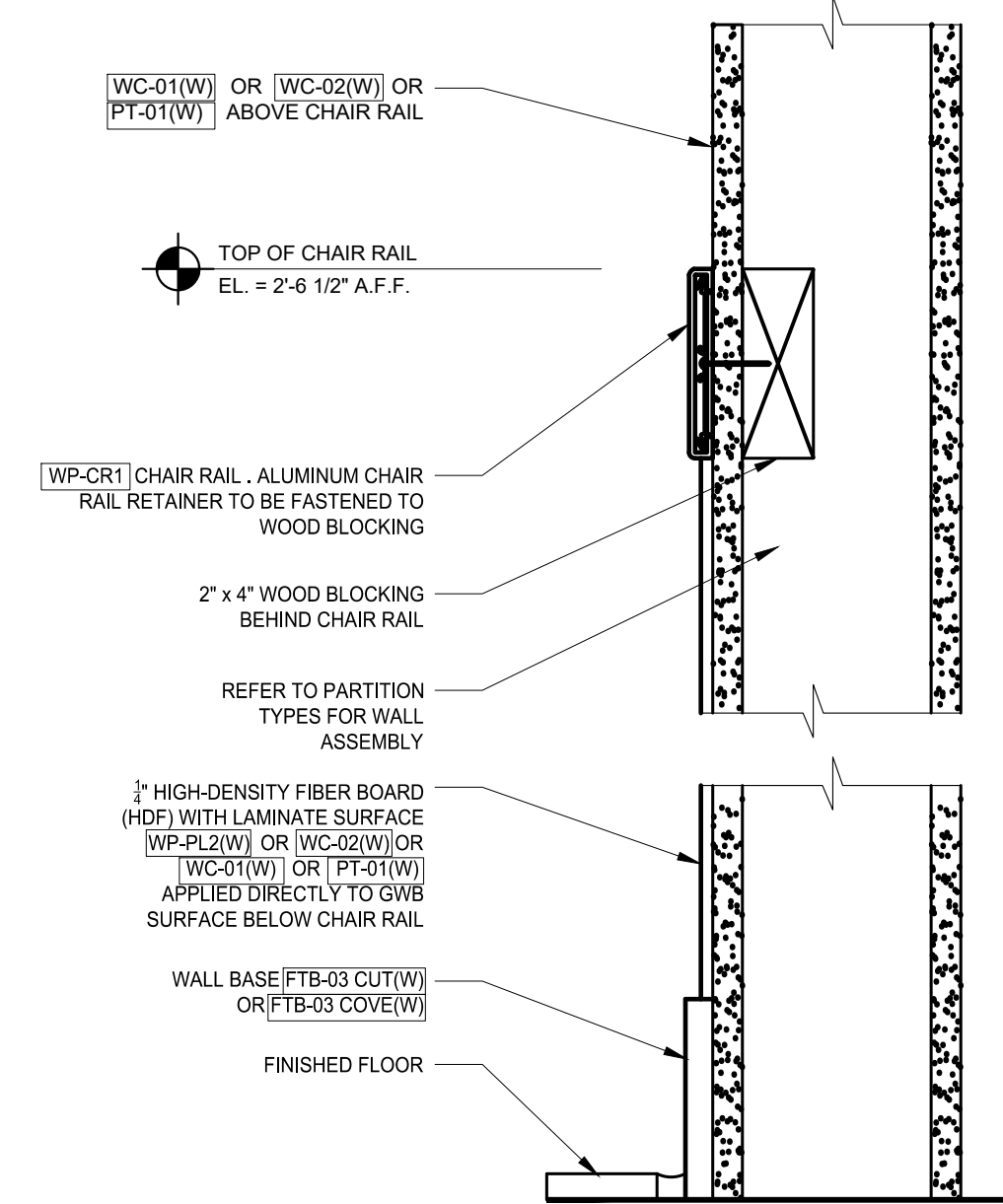


OPTION 1a

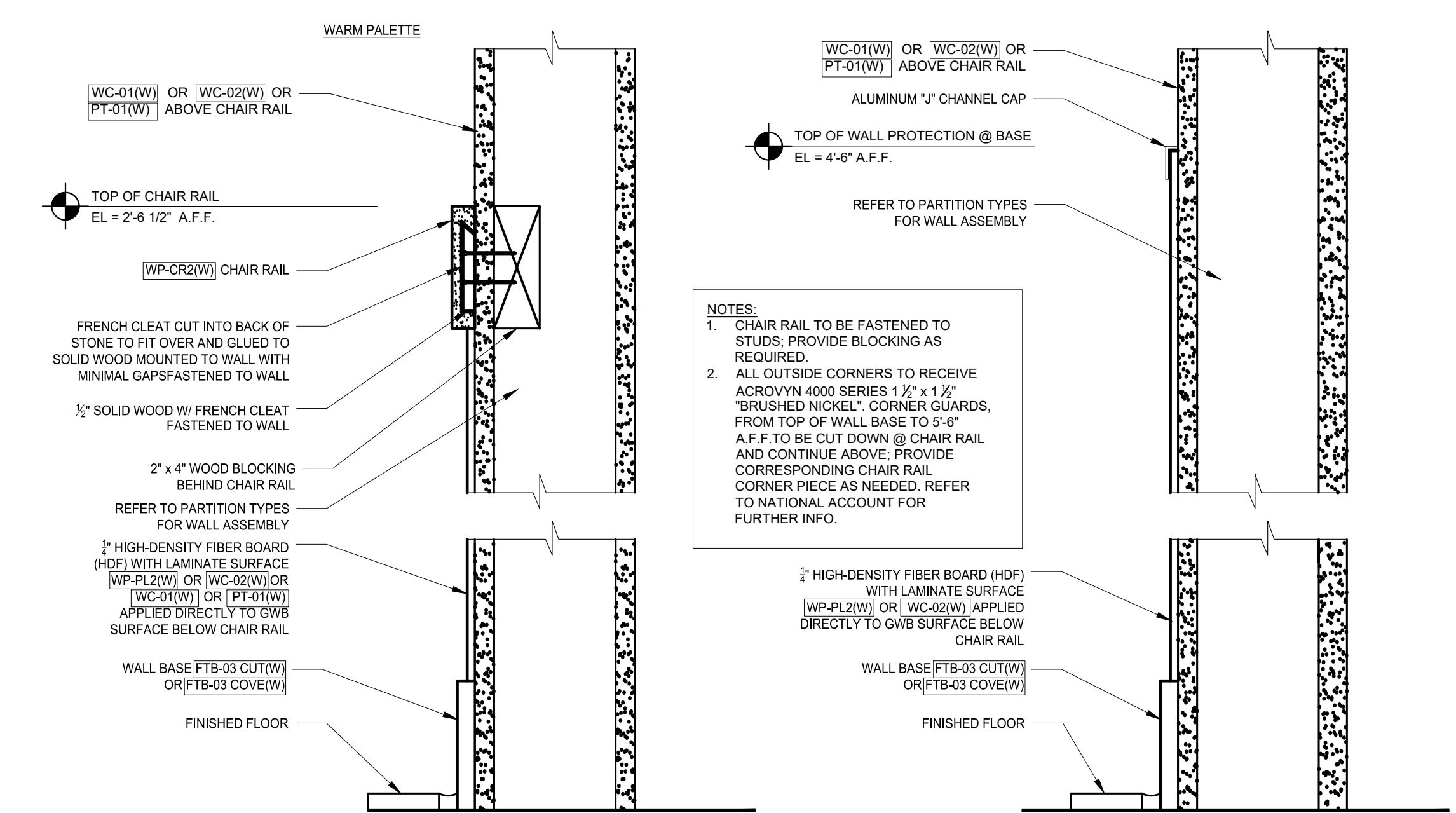


OPTION 2a

OPTION 3a



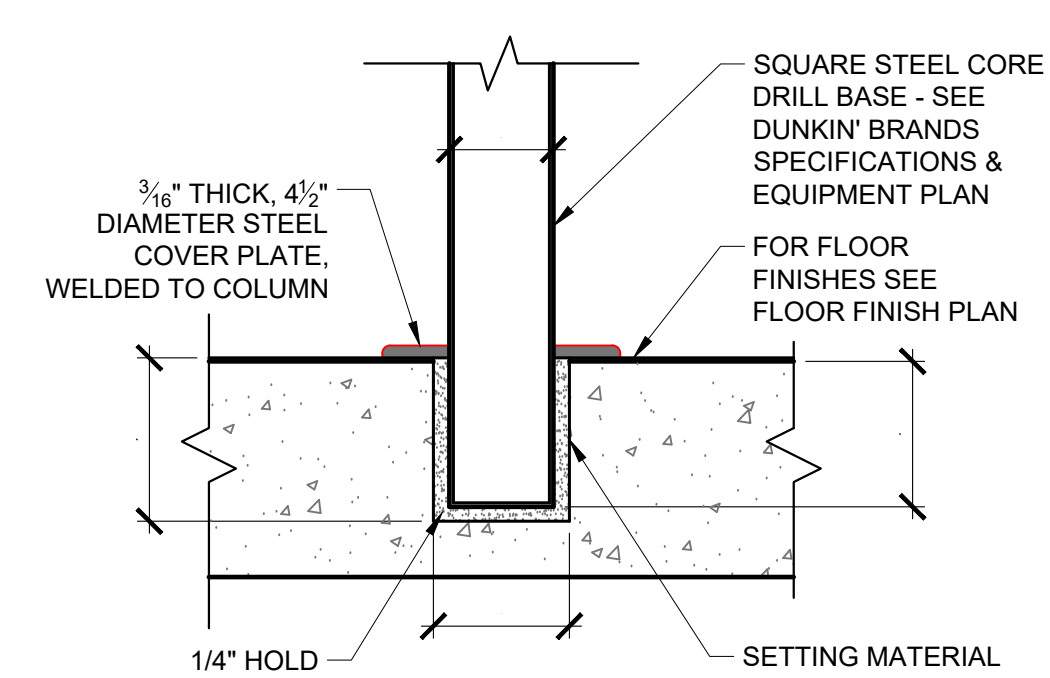
OPTION 1b



OPTION 2b

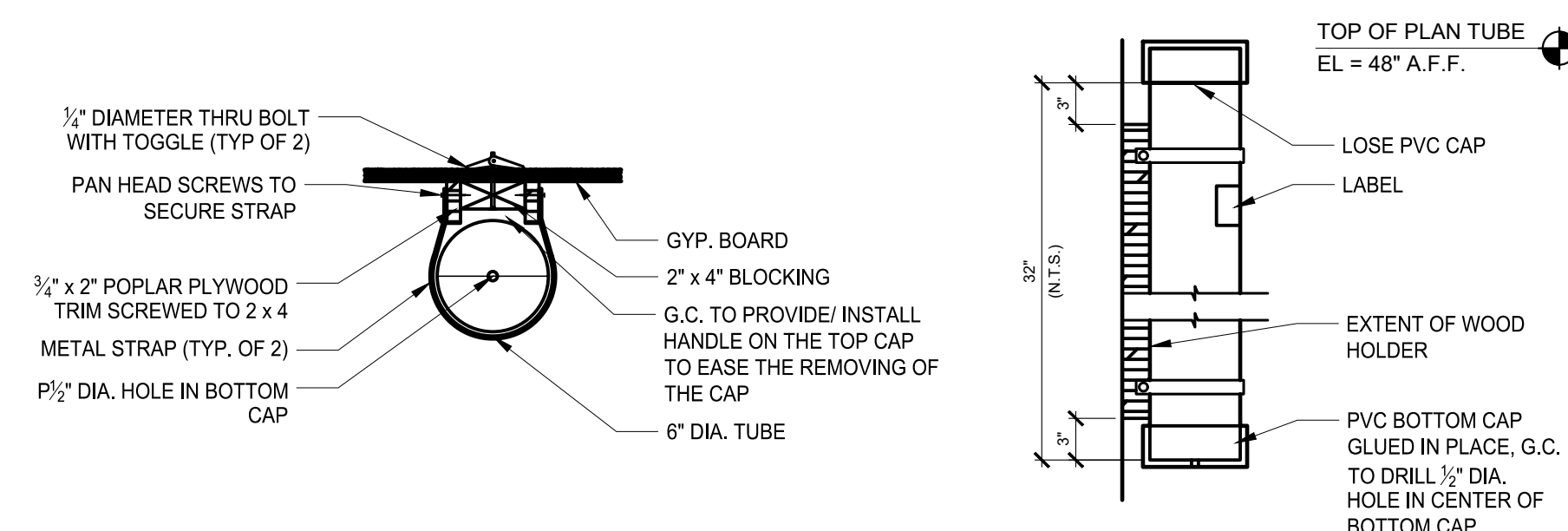
OPTION 3b

**2 WALL PROTECTION OPTIONS AND DETAILS**  
SCALE: 3" = 1'-0"



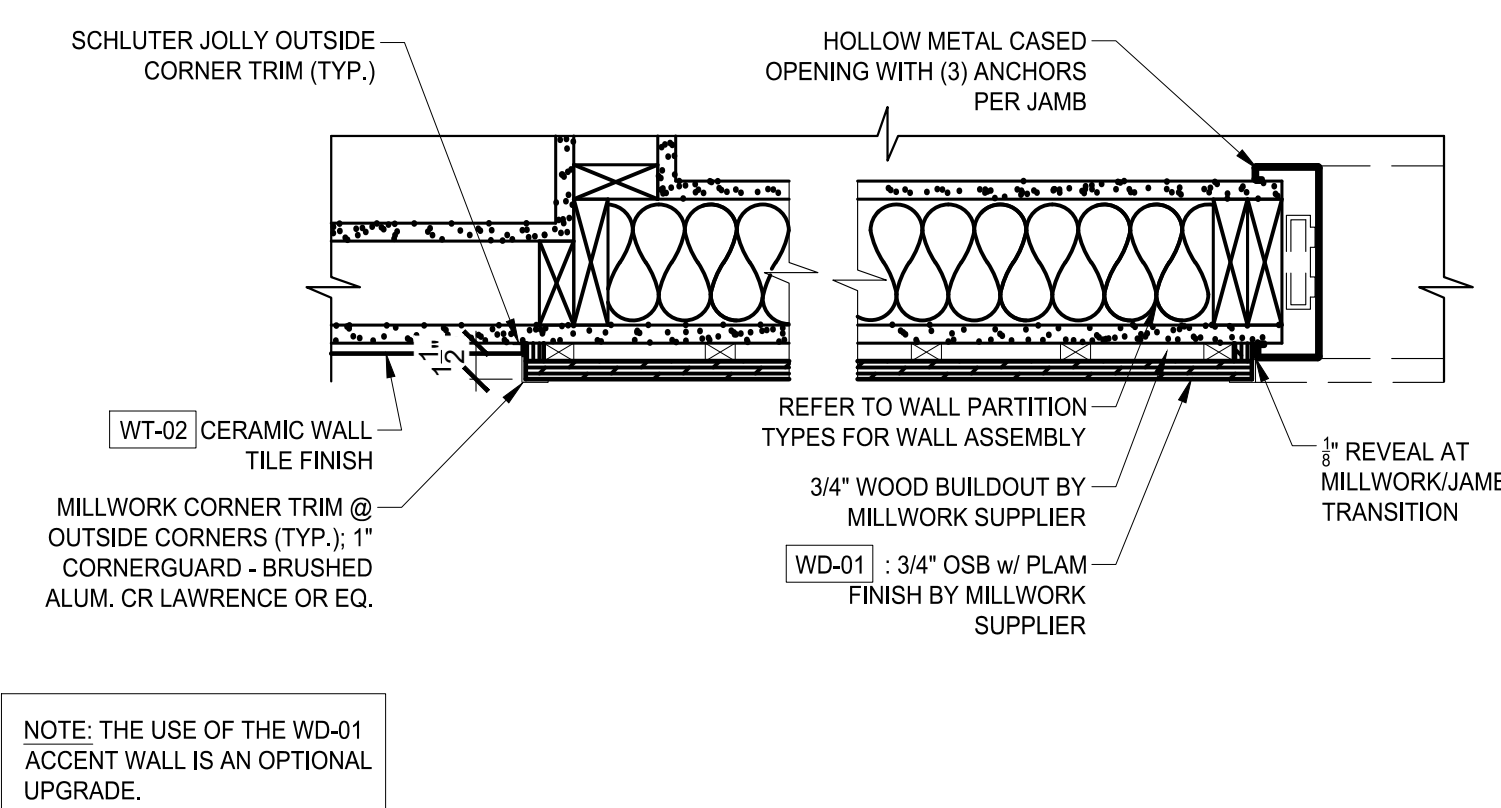
NOTE:  
1. REFER TO FLOOR PLAN FOR LOCATION  
2. CORE DRILL BY MILLWORK VENDOR

**6 CORE DRILL TABLE DETAIL**  
SCALE: 1/4" = 1'-0"



NOTES:  
1. UPON COMPLETION OF PROJECT, G.C. PROVIDE A COMPLETE AS-BUILT SET OF DRAWINGS FOR THE COMPLETED STORE (ARCHITECTURAL, MECHANICAL AND ELECTRICAL) AND PLACE DRAWINGS INTO THE PLAN TUBE HOLDER.  
2. G.C. MUST PROVIDE AND ATTACH A LABEL (WITH CLEAR TAPE) STATING THIS TUBE CONTAINS STORE DRAWINGS AND IS NOT TO BE REMOVED WITHOUT THE CONSENT OF THE FRANCHISEE.  
3. ENTIRE ASSEMBLY IS CONSTRUCTED BY G.C. IN FIELD. G.C. TO PAINT BLOCKING TO MATCH WALL.

**7 PLAN TUBE DETAILS**  
SCALE: 1" = 1'-0"



NOTE: THE USE OF THE WD-01 ACCENT WALL IS AN OPTIONAL UPGRADE.

**1 WOOD/TILE ACCENT WALL TRANSITION DETAIL**  
SCALE: 1 1/2" = 1'-0"

**dunkin' brands.**

**kolbrook design**  
1600 PARK ST. SUITE 200  
EVANSTON, IL 60201  
OFFICE: 847.462.1961 | FAX: 312.453.8669

ARCHITECT  
CIVIL ENGINEER  
STRUCTURAL ENGINEER  
LANDSCAPE ARCHITECT  
PAMELA SELF LANDSCAPE ARCHITECTS  
MEP ENGINEER  
NEW YORK ENGINEERS  
DEVELOPER

SEAL  
STATE OF MISSOURI  
STEVEN A. KOLBER  
NUMBER  
A-201-468361  
ARCHITECT  
EXP. 12/31/2020

PROJECT: **DD TWIN OAKS, MO**  
1410 BIG BEND ROAD  
TWIN OAKS, MO 63086  
PG.#: 363904

DRAWING ISSUE	DESCRIPTION	DATE
FOR PERMIT		07/24/2020

DRAWN BY: WM, CD, ED  
CHECKED BY: SWB  
SHEET TITLE:

DETAILS

SHEET NO. **A9.1**

Kolbrook Job No. 1940.002 Consultant Job No.

**PARTITION GENERAL NOTES**

**FRAMING**

- All load bearing partitions shall be constructed per structural drawings and specifications.
- All non-bearing partitions shall be constructed to limit deflection per building code restrictions and mfr's, whichever is greater. Chases walls shall resist loads perpendicular to shaft.
- Provide double framing at jambs of frames and cased openings.
- Screw attach studs to runner track at both sides.
- Isolate non-bearing framing from structural elements slip connections to prevent the transfer of loads to partition framing.
- Control joints shall be installed at 30'-0" o.c. (maximum) and at major interruptions in the wall - ie doors, windows and equipment. See elevations and plans for locations and verify locations with Architect.
- Provide fire retardant blocking for all wall mounted architectural woodwork, finish carpentry, toilet partitions and accessories, railings, shelving and similar mounted items. For mounting heights see interior elevations.
- Cross bracing at all chase wall framing to be 12" high, 1/2" gyp. bd. or min. 2 1/2" metal studs at 1/3 pts.
- Framing shall coordinate with all required mechanical, electrical, plumbing, fire protection, data and other related work.
- Provide approved fire stopping materials at the ceiling plane in partitions which penetrate the ceiling.
- Top of wall shall be constructed as follows:  
S - to structural deck  
T - thru ceiling  
U - to underside of ceiling

**VAPOR BARRIER**

- Provide 6 mil Poly Vapor Barrier over roll studs & insulation at all exterior wall furring as shown on plan.

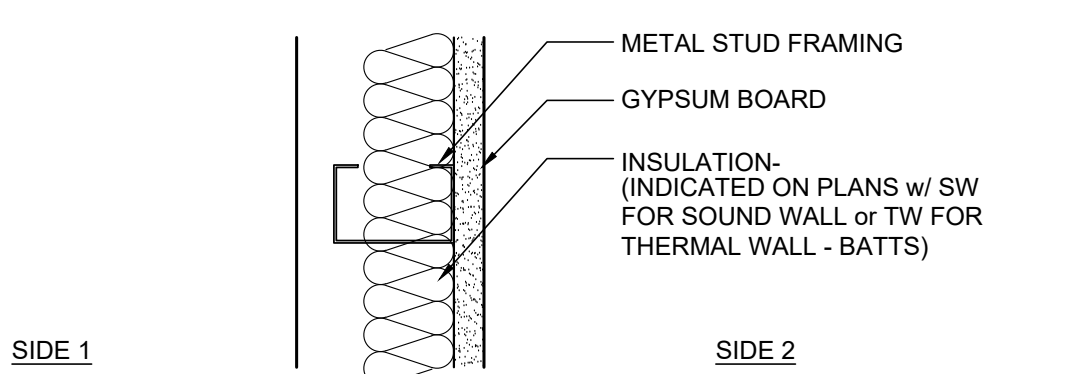
**GYPSUM BOARD**

- Gypsum board shall be installed per ASTM C 840.
- Install water resistant gypsum board at plumbing chase walls, within all toilet rooms, janitor closets and all wet areas- see plans.
- Finish all corners and exposed edges of gypsum board with taped-in metal trim accessories. Use exposed trim only when specifically indicated.
- Gypsum board partitions shall be taped and sanded smooth with no visible joints.
- Recessed items shall be installed flush with partition (U.O.N.). Partition depth shall be adjusted to accommodate depth of recessed item.
- All remaining existing walls and walls affected by demo to be patched and or skim coated for paint finish or laminated with 1/4" gypsum board for smooth paint finish, contractors option.

**FIRE-RESISTANT RATED PARTITIONS**

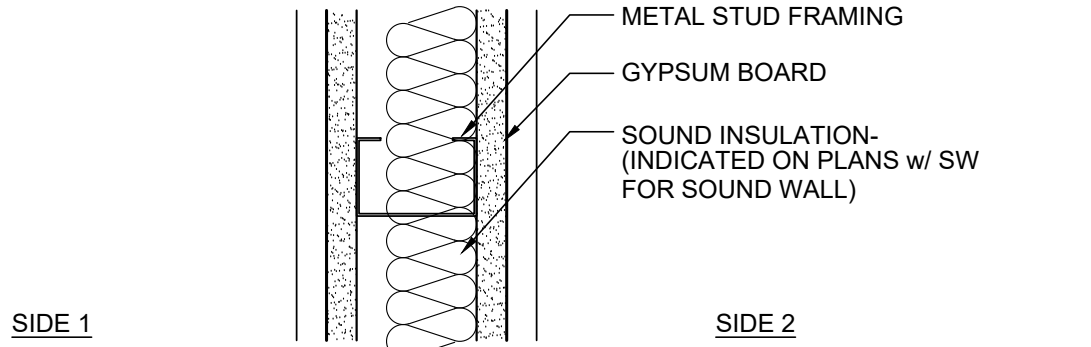
- All partitions indicated to be fire rated shall be constructed in strict accordance with the referenced fire resistance test. If no test is referenced, an industry recognized fire resistance test shall be used.
- Fire resistant rated partitions shall extend from floor to structural deck above.
- Approved fire-resistive materials must be used at all penetrations through fire rated assemblies.

**PARTITION TYPE 1 (FURRED PARTITIONS)**



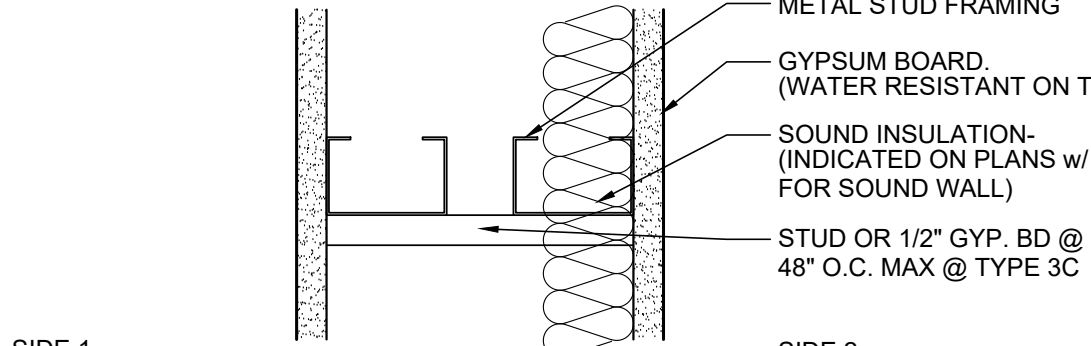
PARTITION TYPE	THK	FIRE RATING	TEST NUMBER	STC RATING	GYPSUM BOARD				FRAMING			NOTES
					TYPE	THK	TYPE	THK	SIZE	SPACING	GAUGE	
1A	4 1/4"	-	-	-	-	-	-	5/8"	3 5/8"	16" o.c.	MIN. 25ga	
1B	1 1/2"	-	-	-	-	-	-	5/8"	7/8"	16" O.C. VERTICAL	MIN. 25ga	
1C	3 1/8"	-	-	-	-	-	-	5/8"	2 1/2"	16" O.C.	MIN. 25ga	
1D	4 1/4"	-	-	-	-	-	WR	5/8"	3 5/8"	16" O.C.	MIN. 25ga	SEE NOTE B
1E	6 5/8"	-	-	-	-	-	WR	5/8"	6"	16" O.C.	MIN. 25ga	SEE NOTE B

**PARTITION TYPE 2 (TYPICAL PARTITIONS)**



PARTITION TYPE	THK	FIRE RATING	TEST NUMBER	STC RATING	GYPSUM BOARD				FRAMING			NOTES
					TYPE	THK	TYPE	THK	SIZE	SPACING	GAUGE	
2A	4 7/8"	-	-	-	-	5/8"	-	5/8"	3 5/8"	16" o.c.	MIN. 25ga	
2B	7 1/4"	-	-	-	-	5/8"	-	5/8"	6"	16" o.c.	MIN. 25ga	
2C	4 7/8"	1 HOUR	UL U465	-	X'	5/8"	X'	5/8"	3 5/8"	16" o.c.	MIN. 25ga	SEE NOTE A
2D	7 1/4"	1 HOUR	UL U465	-	X'	5/8"	X'	5/8"	6"	16" o.c.	MIN. 25ga	SEE NOTE A
2E	4 7/8"	-	-	-	WR	5/8"	WR	5/8"	3 5/8"	16" o.c.	MIN. 25ga	SEE NOTE B
2F	7 1/4"	-	-	-	WR	5/8"	WR	5/8"	6"	16" o.c.	MIN. 25ga	SEE NOTE B
2G	4 7/8"	1 HOUR	UL U465	-	WRX	5/8"	WRX	5/8"	3 5/8"	16" o.c.	MIN. 25ga	SEE NOTE C
2H	7 1/4"	1 HOUR	UL U465	-	WRX	5/8"	WRX	5/8"	6"	16" o.c.	MIN. 25ga	SEE NOTE C

**PARTITION TYPE 3 (CAVITY WALLS)**

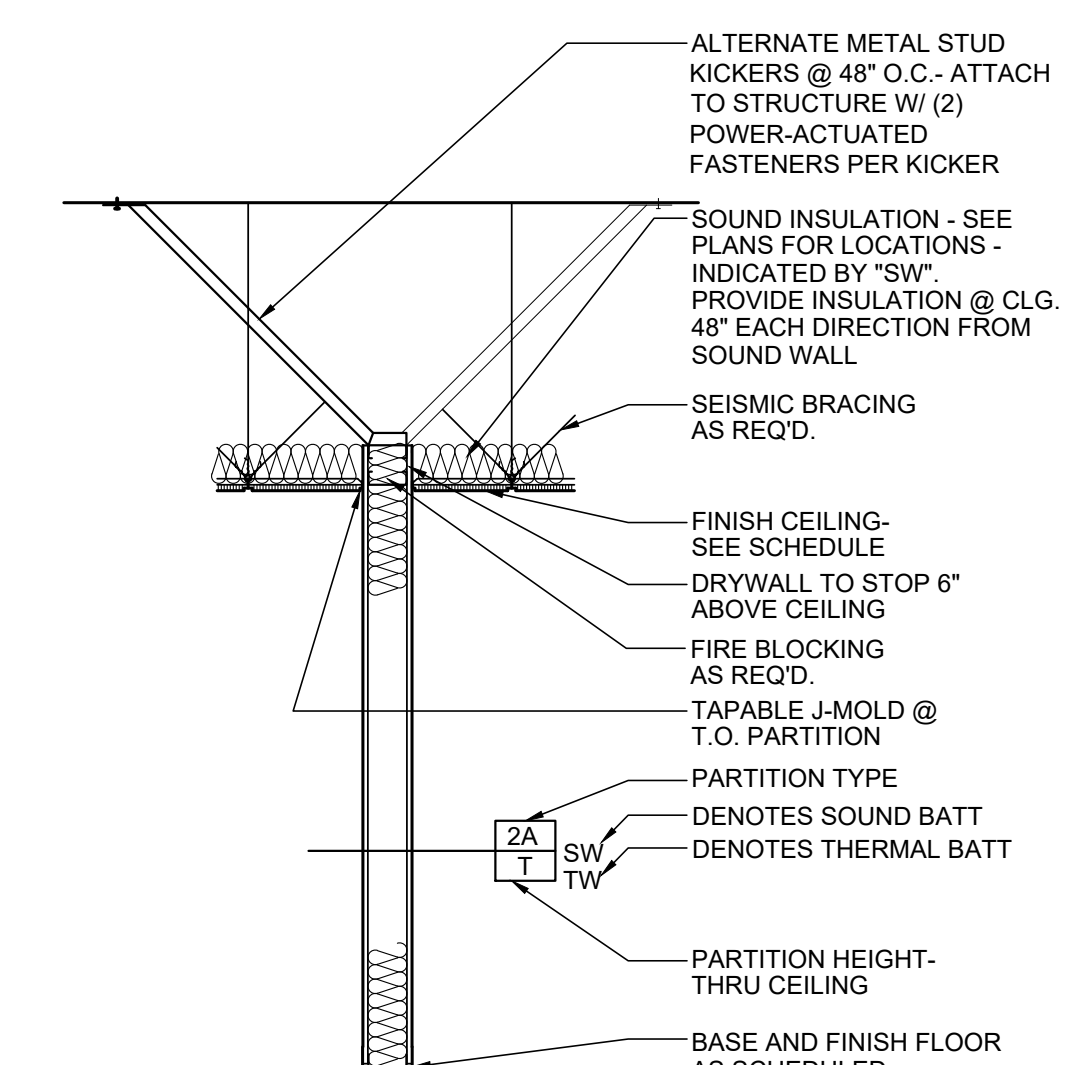


PARTITION TYPE	THK	FIRE RATING	TEST NUMBER	STC RATING	GYPSUM BOARD				FRAMING			NOTES
					TYPE	THK	TYPE	THK	SIZE	SPACING	GAUGE	
3A	varies	-	----	-	W.R.	5/8"	W.R.	5/8"	3 5/8"	16" o.c.	MIN. 25ga	

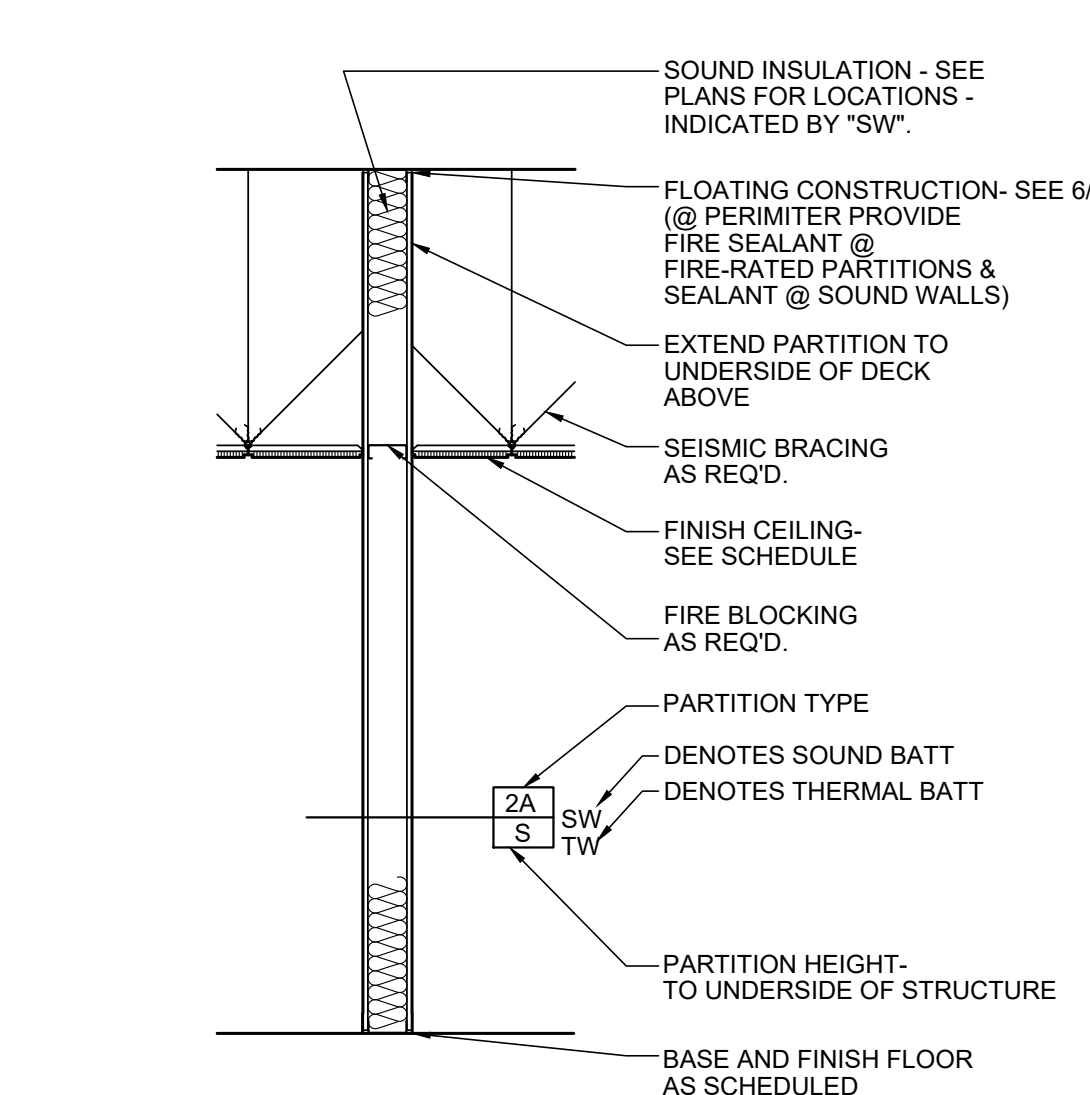
**PARTITION TYPE NOTES**

- PROVIDE HEAD OF WALL ASSEMBLY HW-D-0060
- W.R. = WATER RESISTANT GYPSUM BOARD
- WRX = WATER RESISTANT/FIRE RATED GYPSUM BOARD

**3 TYP. WALL DETAIL**  
SCALE: 1'-0" = 1'-0"

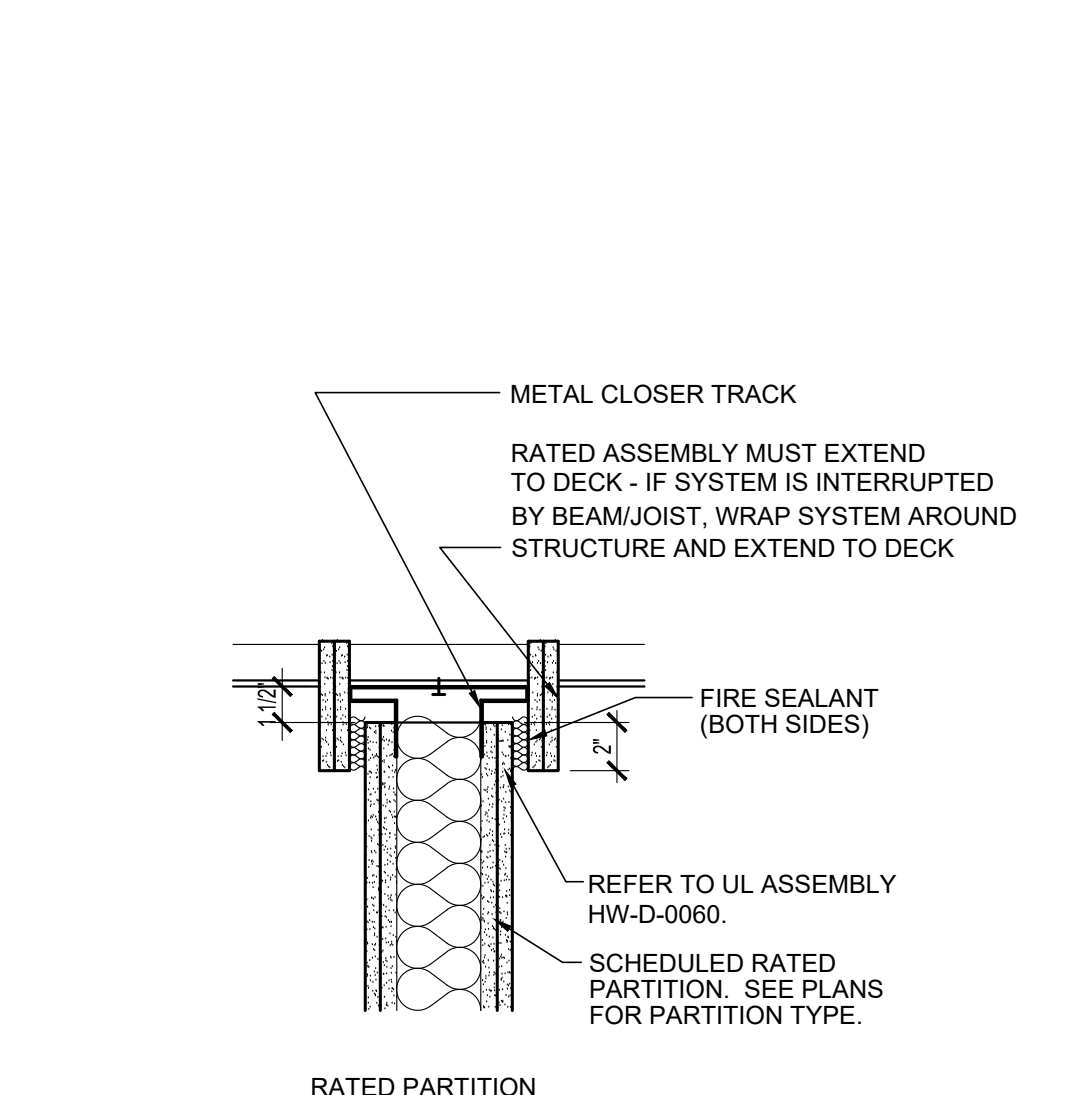


**2 TYP. WALL DETAIL**  
SCALE: 1'-0" = 1'-0"



**1 TENANT PARTITION (TYP.)**  
SCALE: 1'-0" = 1'-0"

**5 DOOR DETAIL**  
SCALE: 1/2" = 1'-0"



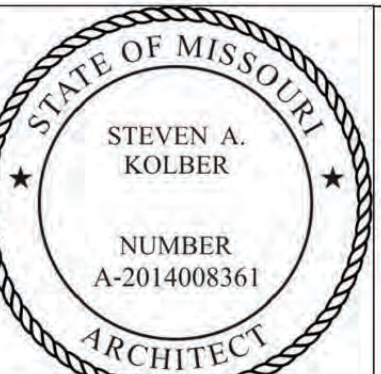
**4 SLIP JOINT DETAIL**  
SCALE: 1/2" = 1'-0"







CIVIL ENGINEER  
STOCK & ASSOCIATES CONSULTING ENGINEERING  
STRUCTURAL ENGINEER  
LANDSCAPE ARCHITECT  
MEP ENGINEER  
NEW YORK ENGINEERS  
DEVELOPER

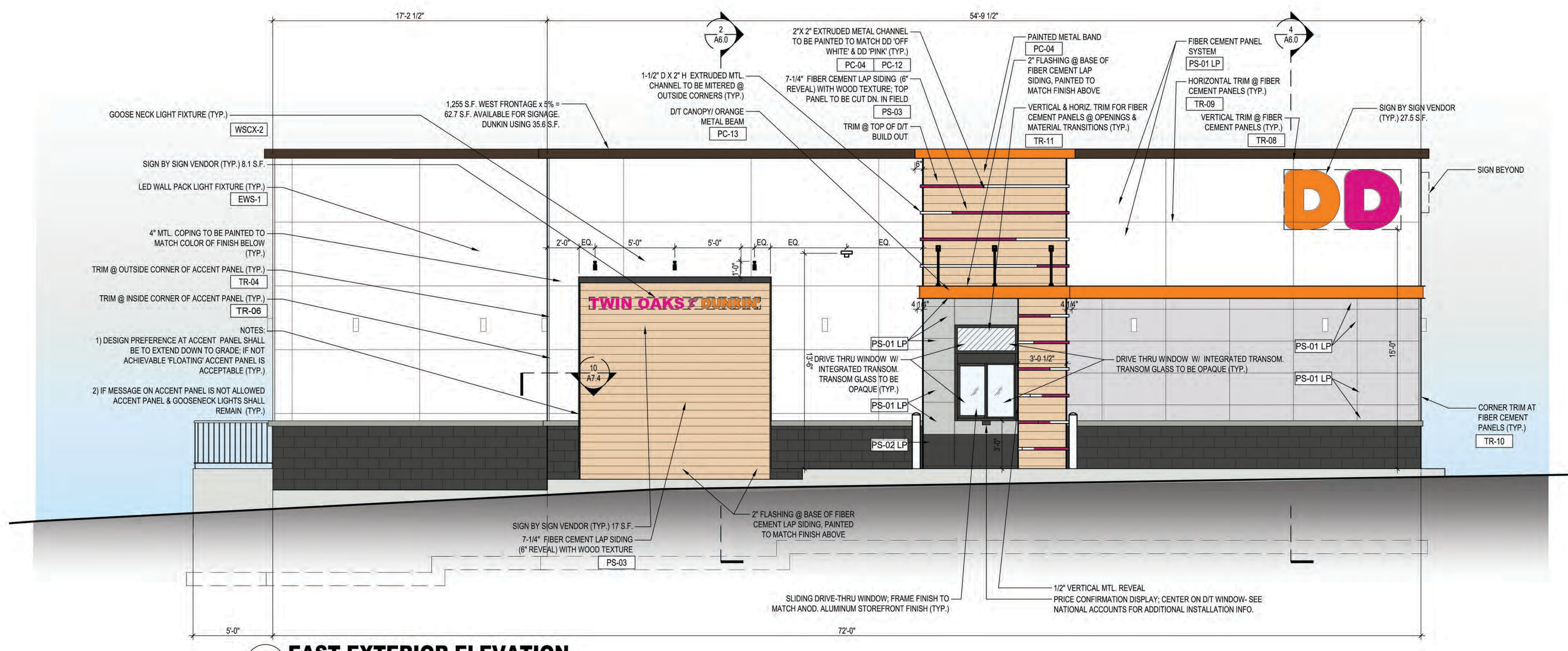


PROJECT: **DD TWIN OAKS, MO**  
1410 BIG BEND ROAD  
TWIN OAKS, MO 63088  
PC #: 359804

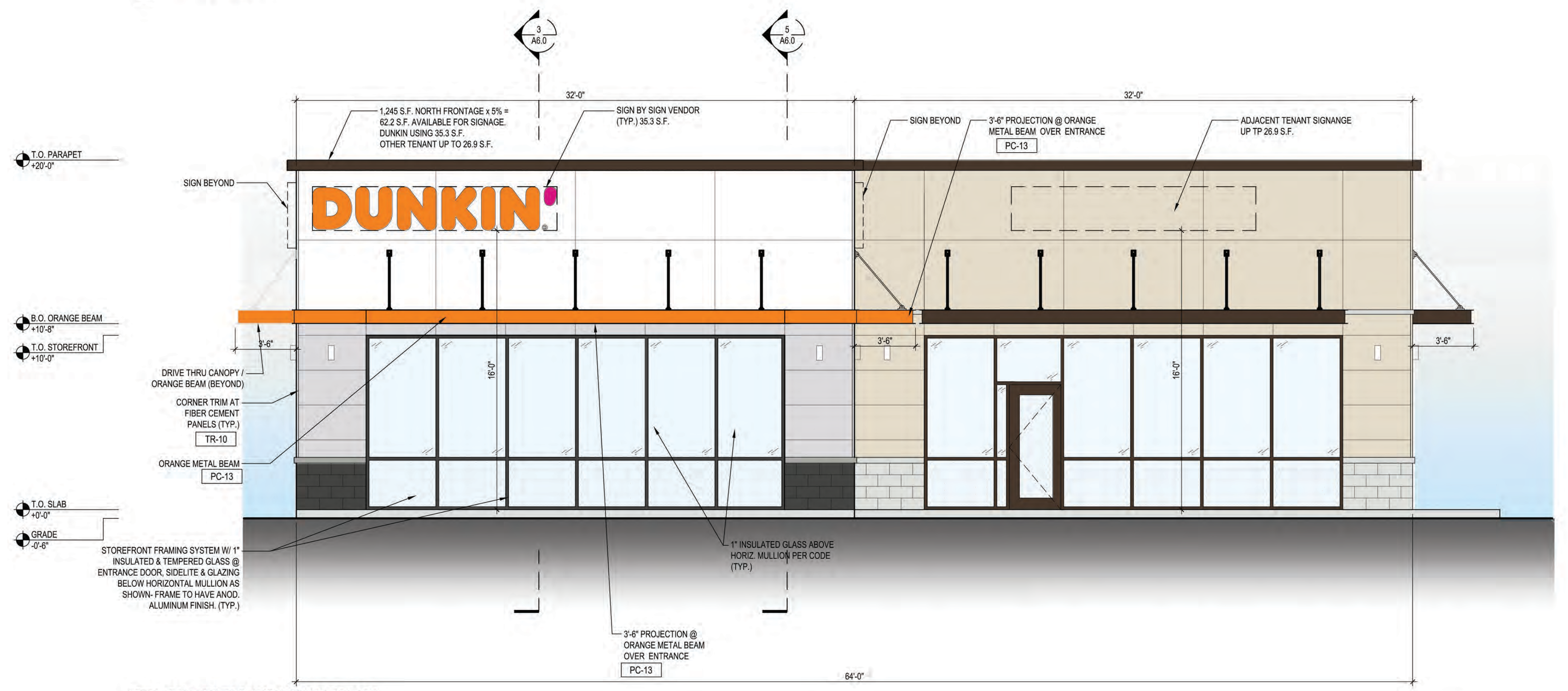
DRAWING ISSUE	DESCRIPTION	DATE
FOR PERMIT		07/10/2020

EXTERIOR ELEVATIONS

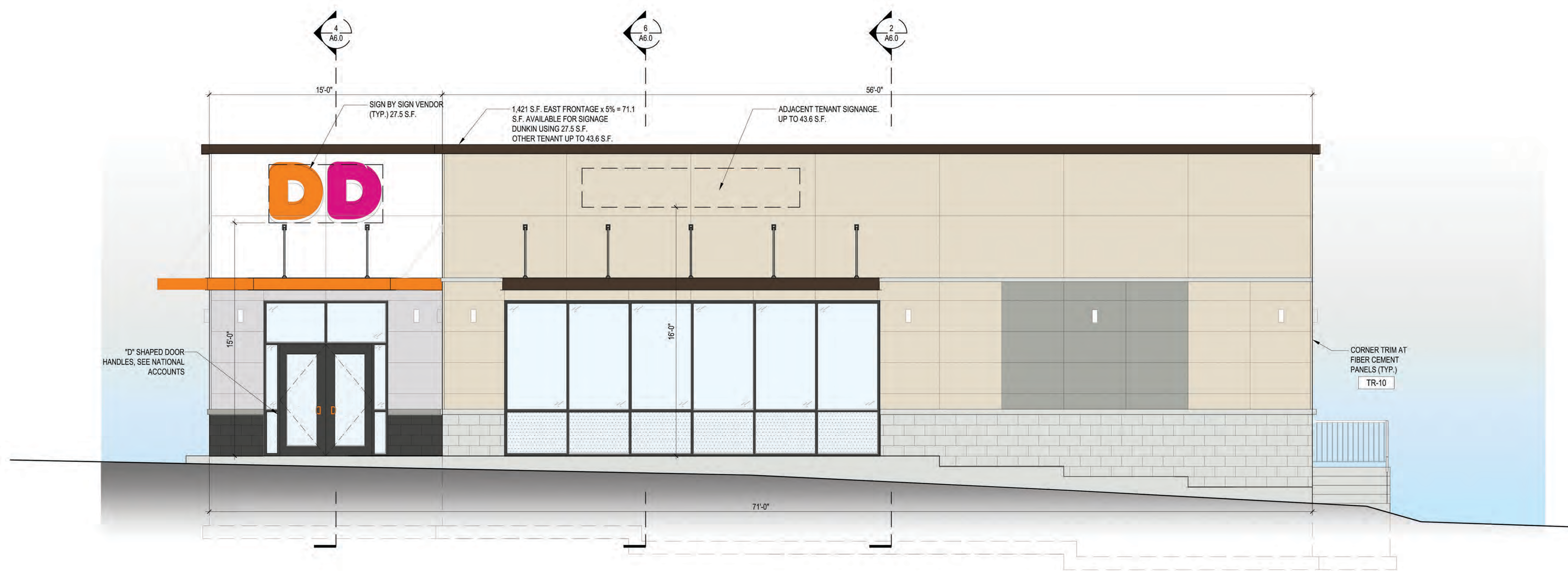
SHEET NO. **A5.0**  
Kolbrook Job No. 1640.002 Consultant Job No. -



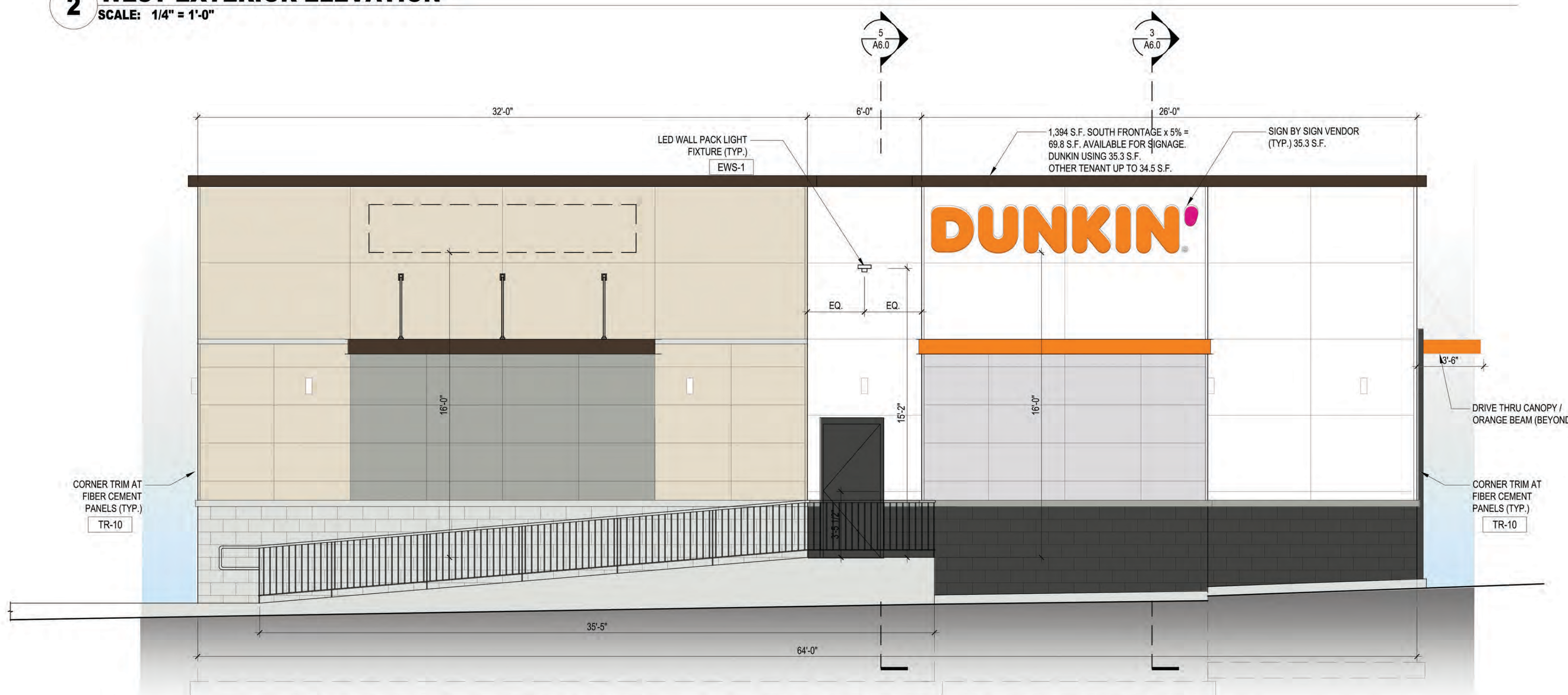
**2 EAST EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



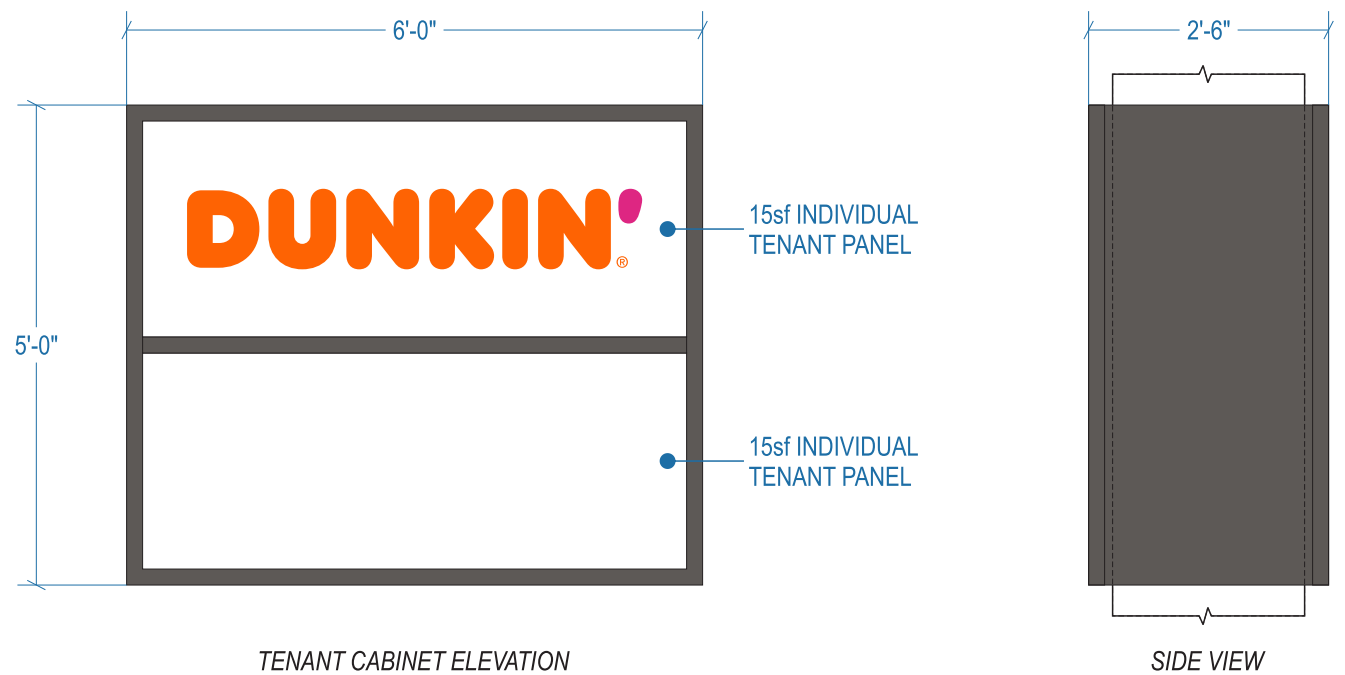
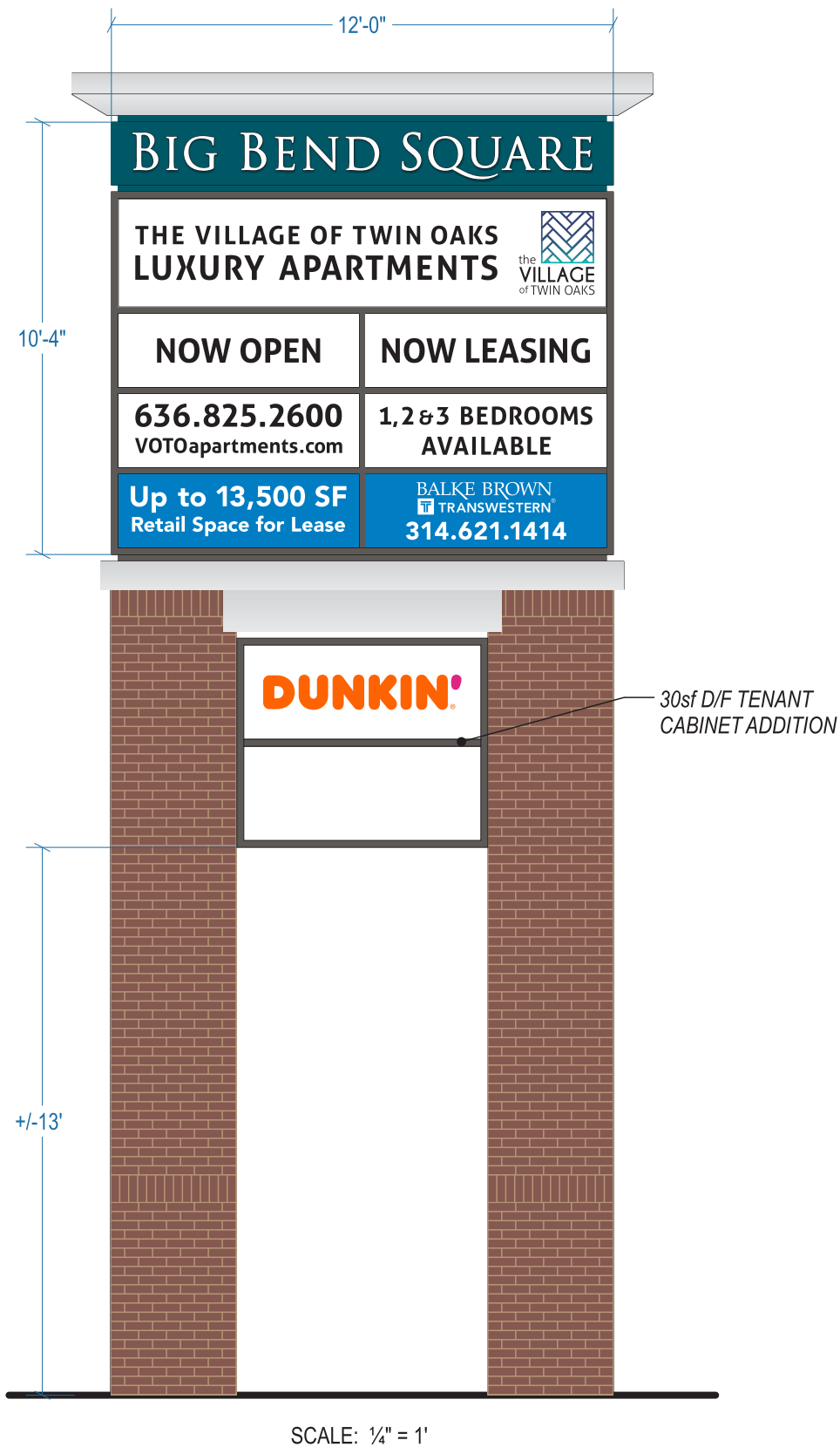
**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 WEST EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 SOUTH EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



### D/F Tenant Cabinet Addition

SCALE: 1/2" = 1'

FABRICATE & INSTALL NEW INTERNALLY ILLUMINATED DOUBLE FACE TENANT CABINET.

**CABINET:** ALL ALUMINUM CONSTRUCTION. PAINT ACRYLIC POLYURETHANE CUSTOM TO MATCH EXISTING. MOUNT WHITE LED MODULES INSIDE AS REQ'D. FOR DOUBLE FACE ILLUMINATION. TWO INDIVIDUAL TENANT FACES EACH SIDE TO BE 3/16" WHITE ACRYLIC. DECORATE W/ 3M VINYL DIE-CUT FILM OR DIGITAL PRINT AS REQ'D. PER APPROVED COLOR REQUIREMENTS.

POWER: 100-277v CIRCUIT - FIELD VERIFY EXISTING. WARREN SIGN TO MAKE FINAL CONNECTION. SIGN IS UL LISTED.

**INSTALLATION:** ANCHOR TO EXISTING STRUCTURE - TBD.



**NOTE:** REQUIRED VERIFICATION BY ENGINEER OF EXISTING STEEL POLES & FOOTINGS TO SUPPORT ADDITIONAL 30sf WIND-LOAD.

**TENANT PANEL COLOR REQUIREMENTS:**  
 PANELS ARE LIMITED TO A MAXIMUM OF THREE (3) COLORS PLUS BLACK AND WHITE. DAY & NIGHT.  
 NO PANELS WILL BE BLANK AT ANY TIME.

**EXISTING SIGN AREA:**  
 10'-4" (124") x 12'-0" (144") = 17,856 / 144 = 124sf  
**PROPOSED TENANT SIGN:**  
 5'-0" x 6'-0" = 30sf (TWO 15sf NEW TENANT PANELS)  
**NEW SIGN AREA:**  
 124sf + 30sf = 154sf TOTAL SIGN AREA



July 20, 2020

City of Twin Oaks  
1381 Big Bend Road  
Twin Oaks, MO 63021  
Attn: Frank Johnson, City Clerk

RE: Plan Review for Dunkin Donuts  
1410 Big Bend Road - BFA 3497-0


Mr. Johnson,

I obtained from you on July 8, 2020, the Development Plan (17 pages) for the Dunkin Donuts. The information was reviewed to evaluate the Amended Final Development Plan and Signs. The following comments list the conflicts with the proposed plans when compared to the Master Sign Plan for Big Bend Square received 10-5-2018 and the approved Amended Final Development Plan for The Villages of Twin Oaks Dated 12-4-2018.

BFA offers the following comments:

1. The parking count has been reduced from 35 parking spaces to 14 parking spaces. Please amend parking calculations for entire Development as shown on the approved Amended Final Development Plan for The Villages of Twin Oaks Dated 12-4-2018. If a "modification" to underlying zoning/parking requirement is needed per §400.380.E.2, please submit a written request for same. Also, please add estimate for amount of parking allocated to other tenant of the proposed building.
2. The width of the east access drive has been decreased from 25.68 ft to 22.79 ft.
3. The amount of greenspace has decreased.
4. The landscaping has been removed around the pylon sign
5. The curb in the southwest corner has been shifted south, therefore affecting the amount of green space.
6. The approved Landscaping plan shows 3 trees in the west island, whereas the submitted drawing only shows 2 trees.
7. The building colors are limited to EmpireBlock – Concrete Gray, Illumination - SW7047 "Porpoise", SandStone – Gentle Gray, Modular – Castile Gray, and Modular – Cinnamon Ironspot. If using a similar color, please provide an exhibit comparing the two colors.
8. Section 410.050 limits the number of signs to no more than one per main entrance of a principal building. Please also note the Master Sign Plan for Big Bend Square received 10-5-2018 permits only one (1) wall sign per tenant. If a "modification" to Master Sign Plan is needed per §400.380.E.2, please submit a written request for same OR submit an amended Master Sign Plan per 410.050.B for this lot for P&Z/Board review.
9. Please provide Landscape and Lighting Plans per §400.340.A.4.
10. Please re-label "Proposed Retail" on Plan Sheet C1 as "Future Restaurant" per Item No. 8 of Ordinance 17-07 ("Any future buildings on or re-development of the area labeled "Future Restaurant" in the northeast corner of the site shall be subject to the development plan approval process and shall be of a design and appearance shall be compatible with that

approved by this Final Development Plan and the area shall be labeled limited to "restaurant use.")

11. Please provide on plan sheets a callout of the proposed material at the lower quarter of the building indicated by the "brick" pattern (right). 
12. Please provide detail for proposed monument sign as called out on Plan Sheet C1 as "NEW MONUMENT SIGN. AREA NOT TO EXCEED 50SF AND 5' IN HEIGHT. SEE 2/SP1.1"
13. Note 12 on Plan Sheet C1 states that the screening for the trash containers will "masonry" yet the Trash Enclosure Details, Plan Sheet SP1.4 show painted cedar siding and Hardi-plank siding. Please clarify. Per §400.330.A.2, "All structures shall be of brick masonry construction."
14. Please further note that the City's Urban Guidelines, Appendix A to the Zoning Code say that "trash storage ... should be screened from view with landscape or architectural elements *designed as part of the building structure.*" F.4. If a "modification" to this underlying Urban Guideline requirement is requested, please submit a written request for same per §400.380.E.2.
15. Although the plans do not indicate screening for HVAC or other mechanical equipment, note that the per City's Urban Guidelines, Appendix A to the Zoning Code, "Where potentially visible from a public street, all mechanical equipment, utility meters, storage tanks, air-conditioning equipment, and similar equipment should be screened from view by landscaping or architectural elements integrated into the structure." Also, Per §400.330.A.2, "All rooftop mechanical equipment shall be adequately screened as determined by the Board of Aldermen."
16. Please provide conceptual/final approval from all interested jurisdictions, including MSD and Valley Park Fire District or West County Fire District, as applicable per §400.340.A.4.o.
17. Please submit a list of all "modifications" to underlying zoning requirements requested per §400.380.E.2.
18. Please provide a sign plan for further review.

Please let me know if you need further explanation on any of these items or if you have additional items that you would like to have reviewed in more detail.

Best regards,



Tiffany Campbell  
BFA, Inc.

July 28, 2020

City of Twin Oaks  
1381 Big Bend Road  
Twin Oaks, MO 63021  
Attn: Frank Johnson, City Clerk

RE: Sign Plan Review for Dunkin Donuts  
1410 Big Bend Road - BFA 3497-0

Mr. Johnson,

I obtained from you on July 24, 2020, the Signage Plan (3 pages) for the Dunkin Donuts. The information was reviewed to evaluate the Amended Final Development Plan and Signs. The following comments list the conflicts with the proposed plans when compared to the Master Sign Plan for Big Bend Square received 10-5-2018 and the approved Amended Final Development Plan for The Villages of Twin Oaks Dated 12-4-2018. These comments are in addition to the comments dated July 20,2020.

BFA offers the following comments:

1. The plans call for "sign by sign vendor". Please provide the vendor detail wall signs as far as sign type, materials, lighting, etc.
2. Section 410.050 limits the number of signs to no more than one per main entrance of a principal building. Please also note the Master Sign Plan for Big Bend Square received 10-5-2018 permits only one (1) wall sign per tenant. If a "modification" to Master Sign Plan is needed per §400.380.E.2, please submit a written request for same OR submit an amended Master Sign Plan per 410.050.B for this lot for P&Z/Board review.
3. Tennant Pylon sign approved 10-5-2018 specifies all signage should have a 120 V circuit to sign before installation.
4. Per Tennant Pylon sign approved 10-5-2018, the location of the proposed Dunkin sign on pylon sign is not allowed; a "modification" to the Master Sign Pan will be required.
5. Final Development Plan dated 12-4-2018 requires a parapet to hide all mechanical equipment. Please update elevation plan to show a parapet.
6. Provide calculations for the East Elevation to ensure the signage does not exceed the maximum allowable area of the wall.
7. Per Section 410.050, ensure bottom of sign is at least 8' above the finished grade.
8. Please ensure sign shall not extend or project more than 2 feet above the roof line nor more than 18 inches from the wall to which mounted or affixed per Section 410.050.
9. Once we receive a detailed sign plan, additional comments may be forth coming.

Assuming the signs are to match the rest of the development in appearance, BFA offers the following comments:

1. FACES: Provide the following: 3/16" white acrylic, 1" trim cap, graphics to be 3M trans vinyl film or digital prints.
2. RETURNS: Provide the following: 5" deep aluminum painted acrylic polyurethane custom.

103 Elm Street  
Washington, MO 63090



636.239.4751  
www.bfaeng.com

3. ILLUMINATION: Provide the following: mount white LED modules inside each letter module or wall sign as required.
4. POWER: Provide the following: 120v circuit to sign, UL listed sign.
5. INSTALLATION: Provide sign anchors flush to wall via non-corrosive mechanical fasteners.

Please let me know if you need further explanation on any of these items or if you have additional items that you would like to have reviewed in more detail.

Best regards,

A handwritten signature in blue ink, appearing to read 'Tiffany Campbell', is written over a light blue circular watermark. The signature is fluid and cursive, extending to the right with a long horizontal stroke.

Tiffany Campbell  
BFA, Inc.

**CUNNINGHAM, VOGEL & ROST, P.C.**

*legal counselors to local government*

333 S. Kirkwood Road, Suite 300

St. Louis, Missouri 63122

TEL: 314.446.0800

FAX: 314.446.0801

*www.municipalfirm.com*

**CITY ATTORNEY REPORT**

TO: Mayor & Board of Aldermen, City of Twin Oaks  
CC: Frank Johnson, City Clerk  
FROM: Paul Rost, City Attorney  
RE: City Attorney Report  
DATE: August 3, 2020

---

**1. Update to Building Codes**

The City contracts with St. Louis County to perform inspections and otherwise administer the City's building codes. The County has recently updated its technical codes to the 2015 versions of the international building codes. Contractually, the City is bound to adopt the same codes as the County for the County to continue to oversee the inspections and enforcement of our building codes. To that end, the City has made the updated building codes available through the City's website for the 90-day period required by law and so now wishes to adopt the updated building codes consisting of:

- 2015 International Building Code (IBC) as amended by St. Louis County Ordinance No. 27,654
- 2015 International Existing Building Code (IEBC) as amended by St. Louis County Ordinance No. 27,654
- 2015 International Residential Code (IRC) as amended by St. Louis County Ordinance No. 27,654
- 2015 International Property Maintenance Code (IPMC) as amended by St. Louis County Ordinance No. 27,617
- 2015 International Fuel Gas Code (IFGC) as amended by St. Louis County Ordinance No. 27,619
- 2015 International Mechanical Code (IMC) as amended by St. Louis County Ordinance No. 27,619
- 2015 Uniform Plumbing Code as amended by St. Louis County Ordinance No. 27,424



- 2014 National Electric Code as amended by St. Louis County Ordinance No. 27,430

If you want to review the codes, follow the link on the Twin Oaks website here <https://www.cityoftwinoaks.com/home/news/updated-building-codes-available-public-review>. The City will need to buy a copy of these codes to have on file (per the statute).

Additionally, in Section 8, the proposed ordinance strikes the reference in the last sentence of existing Section [500.020](#) to the \$25 building permit fee that is out of date and inconsistent with the more recently adopted schedule of permit deposits found in [section 400.500](#).

Application/Permit	Amount of Fee/Deposit	Zoning Code Reference
6. Building permit	\$80.00 (residential)	§ 500.020
	\$150.00 (commercial — new construction/addition)	
	\$85.00 (commercial — alteration/tenant finish)	
	\$150.00 (demolition for residential/commercial)	

There were a few other organizational changes that I made as well but those have no consequence other than cleaning up.

## 2. **Rossmann Partners, LLC (Dunkin Donuts) Amended Final Development Plan and Sign Plan**

As you may know, the Planning & Zoning Commission reviewed the plan for the proposed Dunkin Donuts/future tenant building at its meeting on July 28, 2020. The Commission began the discussion by reviewing the most recent comments from BFA (letter dated July 28) in response to the latest plan submittal from Applicant as well as a letter dated July 27, 2020 from Applicant’s architect, Kolbrook design, requesting certain modifications be granted. The discussion centered around:

*Parking.* The Applicant seeks a modification to the parking requirements of the City and the approved Final Development Plans to allow 14 parking spaces. The Commission had concern about the very limited number of parking spaces provided on-site. Applicants stated that the proposed Dunkin use was 80% drive-thru and very little in-store seating was provided. Dunkin’s peak hours are from 6 AM to 9 AM. The Applicant provided a copy of the cross-access easements the owner has with the owner of the Big Bend Square development that allows shared parking in the development. Employees will park on parking field to the south. The other tenant will be symbiotic in nature (will not be another breakfast use) and will use parking at other times. If it is a restaurant use it will be a QSR (Quick Service Restaurant) use; they would like to have the option to label the use as “retail” instead of restaurant to maintain flexibility. The Commission noted that this might be an option but also expressed concern over approving an unknown use. There was also some concern about the traffic flow around the parking lot as well as the use of the arrow on the pavement, as these might be confusing in that they might be confused as indicating one-way traffic.

*Landscaping.* According to Applicant's calculations, the amount of landscaping provided will increase slightly from that shown on the approved Final Development Plan. The Commission was not against the removal of one tree where the trash enclosure will be as well as with the overall landscape plan.

*Building Façade Materials and Colors.* The Commission asked that the building more closely match the development and increase the amount of brick on the building. There was discussion of increasing the band of brick around the bottom and adding brick to the pilasters. Applicant to provide new elevations.

*Sign Plan.* Applicant seeks a modification/amendment to the approved Big Bend Square/VOTO sign plan to allow more wall signage than allowed under that plan (one per tenant) due to the standalone nature of the building. The Applicant also seeks approval of the addition of two sign panels below the existing signage panels on the pylon sign.

First the Board discussed the pylon sign and the reason it was approved the way it was (to extend above the "hole" and to allow businesses in the development to have signage in one place on the pylon sign (if they wanted). To add more signs would defeat the purpose of both. After a very long discussion, the Commission was not in favor of the addition to the pylon sign.

As to the additional wall signage. The Commission understood the reasoning for the signage. They felt that the rear of the building was the least likely to need it. The Applicant stated that the rear signage option was merely to meet pre-application concerns expressed about the rear of the building not looking like a rear of a building given its exposure to the apartments and rest of the development. The Applicant stated that they were not sure the tenants would invest in the extra cost for the south-facing wall signage but were looking for the option. The Commission felt that if this signage was needed by the owner, it could be allowed but only after signage allocations on the front and sides of the building were used. In other words, signage should not be added unless the owner was willing to pay for the additional signage after having signage placed on all other elevations, but it would not be the only signed wall or only one of two.

A summary of the P&Z Commission's recommendation for approval is as follows:

- Approval of the requested modification of the parking lot plan to allow 14 parking spaces (based on shared parking) and the parking lot layout as submitted
- Because the Dunkin restaurant will meet the "future restaurant" condition of the original final development plan, the Board should consider possibly allowing for other retail use in adjoining tenant space
- Applicant to increase brick on the façade / pilasters and resubmit elevations showing same prior to Board meeting; colors to more closely match the Big Bend Square
- Approval of landscaping plan as submitted

- **Sign Plan** approval with following conditions and modifications:
  - Do not recommend adding to bottom of pylon sign instead use space City already approved on pylon sign for businesses in the Big Bend Square development
  - Allow up to five (5) wall signs for Dunkin space and up to 3 wall signs for adjacent tenant space at the size and location shown on the sign plan and elevations submitted with amended final development plan; *provided* that the wall signs shall only be installed on south (rear) elevation for each tenant after full use of allocation of wall signs for north, east and west elevations has been used by each tenant.
  - Include size for wall sign for tenant space on south elevation

It should also be noted that the sign plan (Warren Signs) submitted did not have any specifics as the construction and specific materials for the signs and so it was assumed that the proposed signs for the outlot are going to match the rest of the Big Bend Square development in style and appearance and use the specifications approved on the prior sign plan, specifically:

1. **FACES:** 3/16” white acrylic, 1” trim cap, graphics to be 3M trans vinyl film or digital prints.
2. **RETURNS:** 5” deep aluminum painted acrylic polyurethane custom.
3. **ILLUMINATION:** mount white LED modules inside each letter module or wall sign as required.
4. **POWER:** 120v circuit to sign, UL listed sign.
5. **INSTALLATION:** Sign anchors flush to wall via non-corrosive mechanical fasteners

So, while the matter will be in the Board agenda for the public hearing it will only be on the agenda for *discussion* (not final approval) as direction from the Board is needed on the above items before the Applicant can submit a final, clean Amended Final Development Plan. After we have that, I can draft an approving ordinance for Board consideration at the first after the City receives the final plan.

---

# City Clerk's Report

City of Twin Oaks, Board of Alderman

**August 5, 2020**

## Project Updates

### **Meramec Station Road Striping**

- Mayor Russ Fortune, Alderman April Milne, Tiffaney Campbell with BFA and myself met with Traffic Control on July 22 to discuss the striping project on Meramec Station Road. Based on that conversation and on drawings produced by BFA, Traffic Control created a bid for restriping the west side of the road and adding crosswalk markings.

### **Dunkin Donuts Development Plan**

- The City received the development plan and application for the Dunkin Donuts in Big Bend Square on July 8. Comments from BFA and City Attorney Paul Rost were sent to the developer on July 20. On Friday, July 24, we held a conference call with the developer to discuss the comments and proposed changes to the submitted plans.
- The City received updated plans from the developer on Monday, July 27, which were reviewed by BFA and Paul Rost. The planning and zoning commission considered the revised plans at their meeting on July 28 and recommended approval with conditions.

### **Golden Oak Court Lighting**

- Work started on installing the new light in Golden Oak Court but had to be halted after the contractor hit several unmarked wires. The contractor will be working with Ameren and the utility locator this week to address the issue so work can proceed.

### **Boly Lane Entrance Lighting**

- This item was tabled at the previous board meeting over concern that the height of the decorative light would seem too high for a residential street.
- The proposed decorative light is the same model as the others recently installed along Big Bend. It has a pole that is 14 feet high, but the fixtures add another 3 and a half feet so that the lights are 17 and half feet high in total. The concrete base it is installed on could potentially add up to another 2 feet. According to Gerstner Electric, this model of light pole comes in various shorter heights as well.
- The lights on the residential streets in the neighborhood (including the one being installed on Golden Oak) are estimated to be between 14 and 15 feet in height. Staff recommends going ahead with the proposed light and instructing the contract to dig out the base so that the foot of the pole is level with the ground.

## Additional Notes

- The City was made aware of a deck being built on a property on Autumn Leaf without the proper permit. Per St. Louis County building code, repairs/replacements to more than 50 percent of an existing deck require a building permit. The property owner was informed via email and voicemail of the need to obtain a proper permit on July 24.
- Property owner on Crescent Ave. who built an above-ground pool without first obtaining a permit submitted his preliminary building permit application and received municipal zoning approval on July 14. He applied to St. Louis County for the building permit on July 23. It is currently pending review.
- Work has been completed or is currently scheduled to fix several potholes in the City, including at the exit from Big Bend Square between Hardees and Commerce Bank and at the Boly Lane entrance. Maintenance Supervisor John Williams also patched several potholes on Boly Lane and Crescent.
- Staff reformatted the new resident packet to use the City's new logo and letterhead and made minor content revisions. A copy will be included with the occupancy permit new residents receive.