

**CITY OF TWIN OAKS
BOARD OF ALDERMEN MEETING
BOARD CHAMBERS, TWIN OAKS CITY HALL
1381 BIG BEND ROAD
WEDNESDAY, AUGUST 19, 2020, 7:00 p.m.**

To balance both the need for continuity of government and protection of the health and safety of our residents, business persons and employees, this meeting of the Board of Aldermen will be open to public attendance in person, providing that those who attend wear face coverings and maintain social distancing.

In addition, the meeting will also be livestreamed on Facebook so that the public may watch and listen to the meeting virtually. The livestream of the meeting will be accessible by tablet/laptop/PC or mobile device at www.facebook.com/twinoaksmo.

The Board apologizes for any inconvenience these requirements may pose but it is extremely important all measures in compliance with the orders issued by public health authorities be taken to protect employees, residents, and elected officials during these extraordinary times.

Residents and others who wish to comment may also email their comments to City Clerk Frank Johnson, fjohnson@cityoftwinoaks.com, by 6 p.m. on August 19, 2020, and their comments will be shared with the Board at the appropriate time.

Tentative Agenda

- 1) REGULAR MEETING CALLED TO ORDER
- 2) PLEDGE OF ALLEGIANCE
- 3) ROLL CALL
- 4) APPROVAL OF AGENDA
- 5) APPROVAL OF CONSENT AGENDA
 - a) Board of Aldermen Regular Session Minutes from August 5, 2020
 - b) Bills List from August 1 to August 14, 2020
 - c) Credit Card List from June 16 to July 16, 2020
- 6) REPORT OF COMMITTEES/COMMISSIONS/CONTRACTORS
 - a) Park Update
 - b) Financial Statements — Jeff Blume
- 7) PRELIMINARY CITIZEN COMMENTS
- 8) NEW BUSINESS
 - a) Bill No. 20-10: AN ORDINANCE APPROVED AN AMENDED FINAL DEVELOPMENT PLAN SUBMITTED BY ROSSMAN PARTNERS FOR A COMMERCIAL DEVELOPMENT IN THE BIG BEND SQUARE SHOPPING CENTER KNOWN AND NUMBERED AS 1310-1366 BIG BEND ROAD

- b) Resolution 20-22: A RESOLUTION APPROVING AND AUTHORIZING THE ESTABLISHMENT OF A DEBT SERVICE RETIREMENT ACCOUNT AND POLICY FOR FUNDING THE ACCOUNT
- c) Resolution 20-23: A RESOLUTION OF THE TWIN OAKS BOARD OF ALDERMEN APPROVING THE CITY CLERK'S REQUEST TO DESTROY CERTAIN RECORDS.
- d) Conflict of Interest Policy for Plan Review

9) ATTORNEY'S REPORT

10) CITY CLERK'S REPORT

11) MAYOR AND ALDERMEN COMMENTS

12) FINAL CITIZEN COMMENTS

(Remarks shall be limited to three (3) minutes on any one subject unless time is extended by the Board)

13) CLOSED SESSION

Upon a motion duly made and approved, the Board of Aldermen intends go into closed session pursuant to Chapter 610 RSMo for the purpose of dealing with matters relating to the following: Legal actions, causes of action, litigation or privileged communications between the City's representatives and its attorney (§610.021(1)).

14) ADJOURNMENT

Frank Johnson
City Clerk

POSTED: August 17, 2020, 3:00 p.m.

Please note: Any person requiring physical or verbal accommodations should contact the city office 12 hours prior to meeting at 636-225-7873. Copies of public records for this agenda are available for public inspection before and at the time of the meeting.

Zoning Commission. Mr. Rossman indicated the masonry on the building was increased significantly and reviewed the parking as it stands today. Mr. Rossman stated that the majority of Dunkin Donuts business is A.M. traffic with 80% of the traffic drive-thru. He stated that the adjacent tenant space will be a fast in and out since the space will not accommodate a sit down restaurant.

Attorney Rost reviewed the recommendations from the Planning & Zoning Commission.

There being no further questions or discussion, Mayor Fortune closed the Public Hearing at 7:30 p.m.

STATE LEGISLATIVE UPDATE

State Representative Trish Gunby thanked the Board for providing a polling place for Tuesday's election. She reviewed upcoming dates for voter registration, absentee and mail in voting. These dates are also on her website.

Representative Gunby stated that next week the legislature will be called into a special session related to the increase of crime and gun violence. At this time there is a Bill going through the Senate wanting to move the age at which a minor can be tried as an adult from 18 years to 14 years old. She is not in favor of this Bill and would like to work to find other means to deal with the violence which our area is dealing with at this time.

Representative Gunby is working with the Manchester Business Association to organize a Small Business event on Saturday, October 3rd. With the COVID-19 situation she is not sure what form this event will take. She asked of the City could help to promote this event. She provided a link to sign up for the event.

She stated that her website contains a lot of information on help for small businesses as well as unemployment benefits. She is willing to help anyone who is experiencing delays in signing up for these benefits.

REPORTS OF COMMITTEES/COMMISSIONS/CONTRACTORS

Police Report: Officer Wehner reviewed the July Police Report. He reviewed again the Community Camera program. Only one resident has signed up for the program at this time. He asked the Board to talk to the residents about the program to hopefully gather more interest. If anyone has any questions they are welcome to give Officer Wehner a call.

Officer Wehner stated that he understood there was a concern while he was on vacation that police presence in the City was down. He stated that he did look into the situation and the contract Twin Oaks has with St. Louis County Police Department does not provide a replacement for him when he is on vacation. He reviewed the hours provided in the contract and what actually occurred. The patrols exceeded the contracted amount. He did

state that a lot of the patrols will be in the business area of the City. However, he and Sgt. Rodriquez have drafted an email to the police in the precinct stating what is expected while Officer Wehner is on vacation and where the patrols should be occurring.

Officer Wehner stated that he has been doing radar patrol, however when he is there speeding is not occurring. He is working to get the radar trailer from the County to put on Crescent Avenue.

PRELIMINARY CITIZEN COMMENTS

There were no preliminary citizen comment.

UNFINISHED BUSINESS

Resolution 2020-20-A Resolution Of The Twin Oaks Board Of Aldermen Approving And Authorizing The Mayor To Execute An Agreement With Gerstner Electric, Inc. For Work On Boly Lane: Mayor Fortune asked for any questions concerning Resolution 2020-20. Mayor Fortune asked for a motion to approve Resolution 2020-20. Alderman Whitmore motioned to approve Resolution 2020-20, seconded by Alderman Stoeckl. The motion passed by voice vote.

NEW BUSINESS

Bill No. 20-09-An Ordinance Amending Certain Sections Of Chapter 500 Code Of The City Of Twin Oaks Pertaining To the Building Code, Residential Code, Existing Building Code, Electrical Code, Plumbing Code, Mechanical Code and Property Maintenance Code And Enacting A New Swimming Pool and Spa Code: First reading of Bill No. 20-09 was read. Mayor Fortune ask if there was any discussion on Bill No. 20-09. Alderman Eisenhower had a question concerning the codes included in the Bill. The second reading of Bill No. 20-09 was read. Alderman Whitmore motioned to approve Bill No. 20-09, seconded by Alderman Eisenhower and the motion passed on a roll call vote as follows: Aldermen Milne-yea, Eisenhower-yea Whitmore-yea and Stoeckl-yea. Mayor Fortune stated that Bill No. 20-09 Being duly passed becomes Ordinance No. 20-09.

Resolution 2020-21-A Resolution Of The Twin Oaks Board Of Aldermen Approving An Agreement With STF, LLC Doing Business As Traffic Control Company For Certain Traffic Striping Services On Meramec Station Road: Mayor Fortune asked for any questions concerning Resolution 2020-21. City Clerk Johnson explained the options included in the proposal. He stated the Board should keep in mind that Meramec Station Road will be in need of repair within the next few years. Mayor Fortune asked Tiffany Campbell what the life expectancy for the paint. Ms Campbell stated that it should last for 3-4 years depending on yearly snow and ice accumulations. Mayor Fortune stated that since the road is in need of repair he would recommend going with the paint. Mayor Fortune asked for a motion to approve Resolution 2020-21. Alderman Milne motioned to

approve Resolution 2020-21, seconded by Alderman Whitmore. The motion passed by voice vote.

DISCUSSION ITEMS

Dunkin Donuts Development Plan: City Clerk Johnson recommended Attorney Rost to go through the Planning & Zoning Commission recommendations and the Board could discuss each item.

Attorney Rost read the recommendations. Alderman Whitmore had a question concerning where the construction equipment will be stored. Mr. Rossman stated that the equipment will be kept on their property. Mayor Fortune had a concern with the traffic arrows on the parking lot could lead to confusion for drivers. It was recommended to add arrows at the other entrance as well to create a lane pointing to the drive thru.

Discussion ensued regarding the labeling of the adjoining tenant space. At this point it is slated for a restaurant which will limit the use. The Board was in agreement to re-label the space for retail sales or restaurant.

The brick façade has been increased. Alderman Whitmore stated he would like to see a sample of the product that will be used.

Discussion ensued concerning the sign at the entrance to the shopping center. When the outlot was purchased by Dunkin Donuts part of the agreement included that they would not be able to use the available signage space on the pylon sign at the entrance. Dunkin Donuts has proposed putting their sign under this area. Alderman Eisenhower stated that traveling east on Big Bend the black fencing blocks the sign in this location. Mayor Fortune stated he will speak to Tim Breece of Propper Development to see if a compromise can be reached.

The final point was the signage on the building. There are five (5) wall signs allowed for Dunkin Donuts and three (3) for the future retail/restaurant area. The Board was in agreement on this point.

Alderman Eisenhower moved that an ordinance be prepared for the August 19, 2020 Board meeting that grants:

- Approval of the requested modification of the parking lot plan to allow 14 parking spaces (based on shared parking) and the parking lot layout as submitted
 - Clarify installation of arrows on parking lot to create lane pointing to drive thru as shown on SP1.1 (to reduce confusion)

- Approval of a retail sales or restaurant use in adjoining tenant space because the Dunkin restaurant will meet the “future restaurant” condition of the original final development plan
- Approval of the façade (with increased brick veneer) but still need material samples prior to August 19th Board meeting to confirm colors match the Big Bend Square
- Approval of landscaping plan as submitted
- Approval of the lighting provided that applicant submits a photometric plan as part of Amended Finals Development Plan (prior to Board meeting)
- Sign Plan approval with following conditions and modifications:
 - Denied adding proposed signage on pylon sign beneath the existing sign space that the City already approved, via Ordinance 18-33, on the pylon sign for businesses in the Big Bend Square development
 - If applicant cannot use pylon sign as is, they are welcome to discuss alternate signage in the future
 - Allow up to five (5) wall signs for Dunkin space and up to three (3) wall signs for adjacent tenant space at the size and location shown on the sign plan and elevations submitted with amended final development plan; provided that the wall signs shall only be installed on south elevation for each tenant after full use of allocation of wall signs for north, east and west elevations has been used by each tenant
 - Include size for wall sign for tenant space on south elevation on Amended Final Development Plan

The motion was seconded by Alderman Whitmore and the motion passed by a voice vote.

City Hall Business Hours: City Clerk Johnson stated that he understands that the Board would like the office hours of City Hall to be 8:00 a.m. to 5:00 p.m. He stated that this is not a problem, however at times this will not be feasible with only two people working in the office and Administrative Assistant Gonzales is considered part-time. In the event that the office will need to be closed before 5:00 p.m. it will be posted on the website as well as City Hall. The Board was in agreement with this.

ATTORNEY’S REPORT

Attorney Rost stated he had nothing further to report.

CITY CLERK'S REPORT

Project Updates

Meramec Station Road Striping

- Mayor Russ Fortune, Alderman April Milne, Tiffany Campbell with BFA and myself met with Traffic Control on July 22 to discuss the striping project on Meramec Station Road. Based on that conversation and on drawings produced by BFA, Traffic Control created a bid for restriping the west side of the road and adding crosswalk markings.

Dunkin Donuts Development Plan

- The City received the development plan and application for the Dunkin Donuts in Big Bend Square on July 8. Comments from BFA and City Attorney Paul Rost were sent to the developer on July 20. On Friday, July 24, we held a conference call with the developer to discuss the comments and proposed changes to the submitted plans.
- The City received updated plans from the developer on Monday, July 27, which were reviewed by BFA and Paul Rost. The planning and zoning commission considered the revised plans at their meeting on July 28 and recommended approval with conditions.

Golden Oak Court Lighting

- Work started on installing the new light in Golden Oak Court but had to be halted after the contractor hit several unmarked wires. The contractor will be working with Ameren and the utility locator this week to address the issue so work can proceed.

Boly Lane Entrance Lighting

- This item was tabled at the previous board meeting over concern that the height of the decorative light would seem too high for a residential street.
- The proposed decorative light is the same model as the others recently installed along Big Bend. It has a pole that is 14 feet high, but the fixtures add another 3 and a half feet so that the lights are 17 and half feet high in total. The concrete base it is installed on could potentially add up to another 2 feet. According to Gerstner Electric, this model of light pole comes in various shorter heights as well.
- The lights on the residential streets in the neighborhood (including the one being installed on Golden Oak) are estimated to be between 14 and 15 feet in height. Staff recommends going ahead with the proposed light and instructing the contract to dig out the base so that the foot of the pole is level with the ground.

Additional Notes

- The City was made aware of a deck being built on a property on Autumn Leaf without the proper permit. Per St. Louis County building code, repairs/replacements to more than 50 percent of an existing deck require a building permit. The property owner was informed via email and voicemail of the need to obtain a proper permit on July 24 and submitted a building permit application on August 4.
- Property owner on Crescent Ave. who built an above-ground pool without first obtaining a permit submitted his preliminary building permit application and received municipal zoning approval on July 14. He applied to St. Louis County for the building permit on July 23. It is currently pending review.
- Work has been completed or is currently scheduled to fix several potholes in the City, including at the exit from Big Bend Square between Hardees and Commerce Bank and at the Boly Lane entrance. Maintenance Supervisor John Williams also patched several potholes on Boly Lane and Crescent.
- Staff reformatted the new resident packet to use the City's new logo and letterhead and made minor content revisions. A copy will be included with the occupancy permit new residents receive.

City Clerk Johnson also stated that he is working with Attorney Rost to revamp the City's residential and commercial building permits.

MAYOR AND ALDERMAN COMMENTS

Alderman Whitmore stated that he has a name for someone in the regional office for the 2020 Census. He has called and left messages, however he has not heard back from them at this time. He also commented that the landscaping at City Hall looks good.

FINAL CITIZEN COMMENTS

There were no final citizen comments.

ADJOURNMENT

There being no further business, Alderman Stoeckl motioned to adjourn the regular meeting at 8:53 p.m., seconded by Alderman Eisenhauer and the motion passed with the unanimous consent of the Board of those present.

Drafted By: _____
Theresa Gonzales,
Administrative Assistant

Date of Approval: _____
ATTEST:

Frank Johnson
City Clerk

Russ Fortune,
Mayor, Board of Aldermen

Credit Card List
June 16 - July 16, 2020

Date	Name	Memo/Description	Amount
6/16/2020	National Notary Association	Notary stamp for T. Gonzales	45.00
6/16/2020	Phillips 66 Petromart	Fuel for truck and equipment	44.00
6/16/2020	Valley Park Elevator Corp.	Fish food	66.84
6/18/2020	Valley Park Elevator Corp.	Garden hose	33.29
6/18/2020	Lowes	Power Washer	325.96
6/20/2020	Dobbs Tire & Auto	City truck repair	944.28
6/21/2020	Adobe	Monthly charge	14.99
6/23/2020	Sam's Club	Office supplies	67.96
6/23/2020	Fish Window Cleaning	City Hall windows	244.00
6/26/2020	Government Finance Office	CAFR	460.00
6/27/2020	Lowes	Caution tape	23.96
6/29/2020	Phillips 66 Petromart	Fuel for truck and equipment	47.50
7/1/2020	Intuit	Monthly charge for Quickbooks	70.00
7/3/2020	Zoom	Monthly charge	14.99
# 7/7/2020	Valley Park Elevator Corp.	Fish food and trimmer line	40.88
7/7/2020	Stonegate Auto Parts	Part for truck	3.78
7/9/2020	Phillips 66 Petromart	Fuel for truck and equipment	44.50
7/9/2020	United States Post Office	Registered Letter	13.73
7/9/2020	United States Post Office	Stamps	114.10
7/15/2020	Valley Park Elevator Corp.	Coal patch for street	59.95
			2,679.71



**CITY OF
TWIN OAKS, MISSOURI**

**MONTHLY OPERATING
FINANCIAL STATEMENTS**

**AS OF AND FOR THE SEVEN
MONTHS ENDED JULY 31, 2020
AND JULY 31, 2019**

City of Twin Oaks, Missouri
Balance Sheets
July 31, 2020 and 2019

	2020	2019
ASSETS		
3-115 Enterprise Bank - Sewer Lateral	\$ 56,678	\$ 56,336
4-113 US Bank Trust Account	136	136
9-100 Petty Cash	100	100
9-111 Meramec Money Market	10,479	10,447
9-112.1 Enterprise Bank-General Checking	130,901	30,972
9-112.2 Enterprise Bank - Gen. Money Market	969,931	1,072,198
9-112.3 Enterprise Bank - Special Account	59,801	59,489
9-122.2 CD Meramec Valley .5987 9/8/19	115,191	113,992
9-128 Escrow Deposits Payable	(10,000)	(10,000)
9-129 Accrued Interest	88	88
Total Bank Accounts	1,333,305	1,333,759
Total Accounts Receivable	854	854
1-180 Taxes Receivable - Road	8,324	9,239
2-180 Taxes Receivable - Park	62,578	27,996
3-180 Taxes Receivable - Sewer Lateral	1,497	1,373
4-180 Taxes Receivable - CI	53,192	23,797
9-109 Undeposited Funds	-	1,287
9-144 Prepaid Items	7,057	7,057
9-180 Taxes Receivable - GF	151,372	104,462
9-180.1 Deferred Property Taxes Receivable	14,741	-
9-181 Other receivables	-	1,210
TOTAL ASSETS	\$ 1,632,920	\$ 1,511,033
LIABILITIES AND EQUITY		
Liabilities		
9-210 MVB Credit MasterCard	\$ 3,039	\$ 4,121
Total Credit Cards	3,039	4,121
1-201 Accounts Payable - Cap Improve	9,540	5,275
2-201 Accounts Payable - Parks	7,386	17,045
2-240 Park Reservation Deposits	1,550	800
4-201 ACCOUNTS PAYABLE - CIST	-	154
9-201 Accounts Payable - GF	10,673	13,619
9-233 LAGER Liability	440	1,474
9-239 Accrued Payroll	14,512	4,945
9-240 Community Room Deposits	680	560
9-281 Deferred property tax revenue-Annual Assesment	14,741	14,741
Total Liabilities	62,561	62,735
Fund Balance	-	-
1-301 Road Fund Balance	24,122	-
2-301 Park & Storm Fund Balance	231,363	509,480
3-301 Sewer Lateral Fund Balance	65,427	61,149
4-301 Cap Impr Fund Balance	458,445	503,431
9-301 General Fund Balance	502,293	562,354
Excess (Deficiency) of Revenues Over (Under) Expenditures	288,709	(188,115)
Total Fund Balance	1,570,359	1,448,298
TOTAL LIABILITIES AND FUND BALANCE	\$ 1,632,920	\$ 1,511,033

CITY OF TWIN OAKS, MISSOURI
STATEMENTS OF REVENUES AND EXPENDITURES, FUND BALANCE AND CHANGE IN FUND BALANCE
FOR THE SEVEN MONTHS ENDED JULY 31, 2020 AND JULY 31, 2019

	JULY 31, 2020								JULY 31, 2019		
	Sewer	CIST	Road	Parks	General	Total	Budget	% Bdgt	Actual	DIFFERENCE	
										FAV / (UNFAV)	
									Amount	%	
REVENUES RECEIVED											
Sales Taxes	\$ -	\$ 153,117	\$ -	\$ 180,137	\$ 314,730	\$ 647,984	\$ 1,007,300	64 %	\$ 605,421	\$ 42,563	7 %
Property Taxes	-	-	32,814	-	19,572	52,387	55,600	94 %	24,918	27,469	110 %
Intergovernmental Taxes	-	-	5,585	-	10,515	16,099	27,400	59 %	12,647	3,453	27 %
Licenses, Permits & Fees	3,365	-	-	-	82,463	85,829	102,000	84 %	77,540	8,289	11 %
Grants	-	-	-	-	-	-	-	-	-	-	-
Miscellaneous Revenue	-	-	-	300	2,751	3,051	3,200	95 %	3,200	(149)	(5)%
Interest Income	1,690	-	-	-	1,793	3,483	5,000	70 %	3,480	3	0 %
	5,055	153,117	38,399	180,437	431,824	808,833	1,200,500	67 %	727,206	81,627	11 %
EXPENDITURES PAID											
Personnel Services	-	-	25,691	17,106	85,758	128,555	261,100	49 %	137,291	8,736	6 %
Administrative	-	-	-	-	60,891	60,891	104,500	58 %	75,318	14,427	19 %
Operating	-	-	52,954	20,868	39,081	112,902	244,900	46 %	148,328	35,425	24 %
Contractual	-	-	-	-	38,267	38,267	105,300	36 %	62,326	24,060	39 %
Police	-	-	-	-	77,647	77,647	126,200	62 %	75,029	(2,618)	(3)%
Lease	-	-	-	-	-	-	100	-	(76)	(76)	100 %
Repairs and Maintenance	-	-	1,904	22,106	-	24,010	44,200	54 %	15,875	(8,135)	(51)%
Debt Service	-	71,379	-	-	-	71,379	142,800	50 %	71,393	14	0 %
Capital additions											
Stormwater	-	-	-	-	-	-	700	-	-	-	-
Other	-	-	6,472	-	-	6,472	151,500	4 %	329,837	323,366	98 %
Total	-	71,379	87,021	60,080	301,644	520,124	1,181,300	44 %	915,321	395,198	43 %
EXCESS (DEFICIENCY) OF REVENUES OVER (UNDER) EXPENDITURES AND CHANGE IN FUND BALANCE	5,055	81,738	(48,621)	120,357	130,180	288,709	19,200	1,504 %	(188,115)	\$ 476,824	(253)%
FUND BALANCE -											
Beginning of Year	65,427	458,445	24,118	231,363	502,293	1,281,646	1,281,646		1,772,401		
End of Period	\$ 70,482	\$ 540,183	\$ (24,503)	\$ 351,720	\$ 632,473	\$ 1,570,355	\$ 1,300,846		\$ 1,584,286		
CHANGE IN FUND BALANCE											
Budget	100	(9,000)	-	67,600	(39,500)	19,200					
Actual Over/(Under) Budget	\$ 4,955	\$ 90,738	\$ (48,621)	\$ 52,757	\$ 169,680	\$ 269,509					

CITY OF TWIN OAKS, MISSOURI
STATEMENTS OF REVENUES AND EXPENDITURES,
FUND BALANCE AND CHANGE IN FUND BALANCE

BUDGET - FYE 12/31/2020						
	Sewer	CIST	Road	Parks	General	Total
REVENUES RECEIVED						
Sales Taxes	\$ -	\$ 239,100	\$ -	\$ 292,900	\$ 475,300	\$ 1,007,300
Property Taxes	-	-	15,200	-	40,400	55,600
Intergovernmental Taxes	-	-	10,400	-	17,000	27,400
Licenses, Permits & Fees	4,700	-	-	-	97,300	102,000
Grants	-	-	-	-	-	-
Miscellaneous Revenue	-	-	-	-	3,200	3,200
Interest Income	400	-	-	-	4,600	5,000
	5,100	239,100	25,600	292,900	637,800	1,200,500
EXPENDITURES PAID						
Court	-	-	-	-	-	-
Personnel Services	-	-	39,700	42,800	178,600	261,100
Administrative	-	-	-	-	104,500	104,500
Operating	5,000	-	79,800	83,200	76,900	244,900
Contractual	-	-	-	-	105,300	105,300
Police	-	-	-	-	126,200	126,200
Lease	-	-	-	-	100	100
Repairs and Maintenance	-	-	10,800	33,400	-	44,200
Debt Service	-	142,800	-	-	-	142,800
Capital additions						
Stormwater	-	-	-	700	-	700
Other	-	65,000	78,500	8,000	-	151,500
Total	5,000	207,800	208,800	168,100	591,600	1,181,300
Excess (deficiency) of revenues over (under) expenditures	100	31,300	(183,200)	124,800	46,200	19,200
OTHER SOURCES(USES) OF FUND						
Transfers	-	(40,300)	183,200	(57,200)	(85,700)	-
TOTAL	-	(40,300)	183,200	(57,200)	(85,700)	-
CHANGE IN FUND BALANCE	100	(9,000)	-	67,600	(39,500)	19,200
FUND BALANCE -						
Beginning of Year	65,427	458,445	24,118	231,363	502,293	1,281,646
End of Period	\$ 65,527	\$ 449,445	\$ 24,118	\$ 298,963	\$ 462,793	\$ 1,300,846
CHANGE IN FUND BALANCE						
Budget						
Actual Over/(Under) Budget						

CITY OF TWIN OAKS, MISSOURI
STATEMENTS OF REVENUES AND EXPENDITURES,
FUND BALANCE AND CHANGE IN FUND BALANCE

	ACTUAL - JULY 31, 2020					
	Sewer	CIST	Road	Parks	General	Total
REVENUES RECEIVED						
Sales Taxes	\$ -	\$ 153,117	\$ -	\$ 180,137	\$ 314,730	\$ 647,984
Property Taxes	-	-	32,814	-	19,572	52,387
Intergovernmental Taxes	-	-	5,585	-	10,515	16,099
Licenses, Permits & Fees	3,365	-	-	-	82,463	85,829
Grants	-	-	-	-	-	-
Miscellaneous Revenue	-	-	-	300	2,751	3,051
Interest Income	1,690	-	-	-	1,793	3,483
	5,055	153,117	38,399	180,437	431,824	808,833
EXPENDITURES PAID						
Court	-	-	-	-	-	-
Personnel Services	-	-	25,691	17,106	85,758	128,555
Administrative	-	-	-	-	60,891	60,891
Operating	-	-	52,954	20,868	39,081	112,902
Contractual	-	-	-	-	38,267	38,267
Police	-	-	-	-	77,647	77,647
Lease	-	-	-	-	-	-
Repairs and Maintenance	-	-	1,904	22,106	-	24,010
Debt Service	-	71,379	-	-	-	71,379
Capital additions						
Stormwater	-	-	-	-	-	-
Other	-	-	6,472	-	-	6,472
Total	-	71,379	87,021	60,080	301,644	520,124
Excess (deficiency) of revenues over (under) expenditures	5,055	81,738	(48,621)	120,357	130,180	288,709
OTHER SOURCES(USES) OF FUND BALANCE						
Transfers	-	-	-	-	-	-
TOTAL	-	-	-	-	-	-
CHANGE IN FUND BALANCE	5,055	81,738	(48,621)	120,357	130,180	288,709
FUND BALANCE -						
Beginning of Year	65,427	458,445	24,118	231,363	502,293	1,281,646
End of Period	\$ 70,482	\$ 540,183	\$ (24,503)	\$ 351,720	\$ 632,473	\$ 1,570,355
CHANGE IN FUND BALANCE						
Budget	100	(9,000)	-	67,600	(39,500)	19,200
Actual Over/(Under) Budget	4,955	90,738	(48,621)	52,757	169,680	269,509

CITY OF TWIN OAKS, MISSOURI
STATEMENTS OF REVENUES AND EXPENDITURES,
FUND BALANCE AND CHANGE IN FUND BALANCE

ACTUAL - JULY 31, 2019						
	Sewer	CIST	Road	Parks	General	Total
REVENUES RECEIVED						
Sales Taxes	\$ -	\$ 142,459	\$ -	\$ 167,598	\$ 295,364	\$ 605,421
Property Taxes	-	-	7,904	-	17,014	24,918
Intergovernmental Taxes	-	-	5,992	-	6,654	12,647
Licenses, Permits & Fees	1,386	-	-	-	76,154	77,540
Grants	-	-	-	-	-	-
Miscellaneous Revenue	-	-	-	-	3,200	3,200
Interest Income	293	-	-	-	3,188	3,480
	1,679	142,459	13,896	167,598	401,574	727,206
EXPENDITURES PAID						
Court	-	-	-	-	-	-
Personnel Services	-	-	26,108	18,516	92,667	137,291
Administrative	-	-	-	-	75,318	75,318
Operating	-	-	60,519	50,506	37,303	148,328
Contractual	-	-	-	-	62,326	62,326
Police	-	-	-	-	75,029	75,029
Lease	-	-	-	-	(76)	(76)
Repairs and Maintenance	-	-	(3,989)	19,864	-	15,875
Debt Service	-	71,393	-	-	-	71,393
Capital additions						
Stormwater	-	-	-	-	-	-
Other	-	4,333	26,152	299,352	-	329,837
Total	-	75,727	108,790	388,238	342,567	915,321
Excess (deficiency) of revenues over (under) expenditures	1,679	66,732	(94,893)	(220,639)	59,006	(188,115)
OTHER SOURCES(USES) OF FUND BALANCE						
Transfers	-	-	-	-	-	-
TOTAL	-	-	-	-	-	-
CHANGE IN FUND BALANCE	1,679	66,732	(94,893)	(220,639)	59,006	(188,115)
FUND BALANCE -						
Beginning of Year	56,196	589,782	24,118	470,276	632,029	1,772,401
End of Period	\$ 57,875	\$ 656,514	\$ (70,775)	\$ 249,637	\$ 691,035	\$ 1,584,286
CHANGE IN FUND BALANCE						
Budget						
Actual Over/(Under) Budget						

AN ORDINANCE APPROVING A SECOND AMENDED FINAL DEVELOPMENT PLAN SUBMITTED BY ROSSMAN PARTNERS, LLC FOR THE OUTLOT OF THE BIG BEND SQUARE MIXED-USE DEVELOPMENT

WHEREAS, on March 1, 2017, the Board of Aldermen adopted Ordinance 17-07 approving a Final Development Plan submitted by Haley Holdings Seven LLC for an 11.271± acre site, known and numbered as 1310 – 1366 Big Bend Square Shopping Center (the “Property”) to allow for the reconstruction and rehabilitation of the existing shopping center as a retail and multi-family residential mixed use development consisting of the existing retail center known as Big Bend Square and newly constructed high-end apartments known as the Villages of Twin Oaks; and

WHEREAS, on February 13, 2019, by Ordinance 19-02 the Board of Aldermen approved an Amended Final Development Plan including a revised Landscaping Plan (the “Amended Final Development Plan”), for approval to ensure consistency between the site as-constructed and the approved Development Plan; and

WHEREAS, after the approval of the Amended Final Development Plan, the Haley Holdings Seven LLC, subdivided the Property by creating a 0.55-acre parcel at the northeast corner of the Property, known and numbered as 1410 Big Bend Road (the “Outlot”), which it then sold; and

WHEREAS, on May 21, 2020 Rossman Partners, LLC (the “Applicant”) as owners of the Outlot, submitted an application for Amended Final Development Plan to allow development of the Outlot (the “Second Amendment to the Final Development Plan”); and

WHEREAS, on July 28, 2020, the Twin Oaks Planning & Zoning Commission recommended approval of the Second Amendment to the Final Development Plan, with certain conditions; and

WHEREAS, on August 5, 2020, the Board of Aldermen held a public hearing related to the Second Amendment to the Final Development Plan; and,

WHEREAS, Applicant requests, and the Board now wishes to grant approval of the Second Amendment to the Final Development Plan with certain conditions as set forth herein;

NOW THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF TWIN OAKS, MISSOURI, AS FOLLOWS:

Section 1. The Second Amendment to the Final Development Plan being in substantial compliance with the conditions and terms of the Board’s Ordinance 17-07, as amended by Ordinance 19-02, and the changes from the original Amended Final Development Plan being minor in nature, the Board does hereby approve the Second Amendment to the Final Development Plan (attached as Exhibit A hereto and incorporated herein by reference) for the Property with the following conditions and modifications:

The following modifications pursuant to §400.380.E.2. of the Municipal Code are hereby approved:

1. Because the Dunkin restaurant will meet the “future restaurant” condition of the original final development plan, the other tenant space in the building is approved as general retail sales use or restaurant use. Future permitted uses on the Outlot are either two (2) restaurant uses or one (1) restaurant and one (1) retail sales use.
2. The parking lot plan is approved to allow 14 parking spaces of more (based on shared parking) and the parking lot layout as submitted on the Second Amendment to the Final Development Plan (including A modification to the east access drive from 25.68’ to 22.79’ in width).
3. The landscape plan submitted as part of the Second Amendment to the Final Development Plan is approved to allow the elimination of the tree originally shown to accommodate the placement of trash enclosure.
4. A modification to use Dunkin Brand standard colors for the base building as shown on the elevations included in the Second Amendment to the Final Development Plan.

Section 2. The Master Common Signage Plan approved by Ordinance 18-33 is amended as set forth on the Amendment to the Master Common Signage Plan attached hereto is approved subject to the following modification applicable to the Outlot only:

1. Up to five (5) wall signs for Dunkin space and up to 3 wall signs for adjacent tenant space are permitted at the size and location shown on the sign plan and elevations submitted with amended final development plan; *provided* that the wall signs shall only be installed on south (rear) elevation for each tenant after full use of allocation of wall signs for north, east and west elevations has been used by each tenant.
2. Except as specifically permitted by the Amendment to the Master Common Signage Plan, the proposed signs for the Outlot shall match the rest of the Big Bend Square development in style and appearance and use the specifications approved on the prior sign plan, specifically:
 - a. FACES: 3/16” white acrylic, 1” trim cap, graphics to be 3M trans vinyl film or digital prints;
 - b. RETURNS: 5” deep aluminum painted acrylic polyurethane custom;
 - c. ILLUMINATION: mount white LED modules inside each letter module or wall sign as required;
 - d. POWER: 120v circuit to sign, UL listed sign; and
 - e. INSTALLATION: Sign anchors flush to wall via non-corrosive mechanical fasteners.
3. No additional signage shall be permitted on the existing pylon sign without review and recommendation by the Planning and Zoning Commission and approval via

ordinance of the Board of Aldermen through an addendum to the Master Common Signage Plan for the Outlot signage.

Section 3. Ordinance 17-07, as amended by Ordinance 19-02, shall continue to govern the Property except as it pertains to the Outlot which shall be governed by any specific requirements in this Ordinance and approved plan attached hereto.

Section 4. The zoning classification of the Property including the Outlot shall remain as a mixed-use development (PD-MxD) as set forth in Section One of Ordinance 17-07, as amended by Ordinance 19-02.

Section 5. The approved Second Amendment to the Amended Final Development Plan shall be recorded, at the Applicant's expense, with the St. Louis County Recorder of Deeds and a reproducible mylar (or other such format as the City may require) of such recorded plan furnished to the City.

Section 6. The findings and facts set forth in the recitals contained in the "Whereas" clauses above are incorporated by reference as if set forth fully herein.

Section 7. This Ordinance shall be in full force and effect on and after its passage and approval by the Mayor.

PASSED AFTER HAVING BEEN READ IN FULL OR BY TITLE TWO TIMES PRIOR TO PASSAGE BY THE BOARD OF ALDERMEN OF THE CITY OF TWIN OAKS, MISSOURI, THIS 19th DAY OF AUGUST 2020.

Russ Fortune, Mayor

Attest:

Frank Johnson, City Clerk

EXHIBIT A

SECOND AMENDMENT TO THE FINAL DEVELOPMENT PLAN

DUNKIN'

DUNKIN DONUTS
TWIN OAKS

IMAGE TYPE: NEXT GEN: COOL PALETTE
BUILDING TYPE: 2 TENANT BUILDING WITH DD END-CAP WITH A DRIVE-THRU

REVIEWED FOR DESIGN CONFORMANCE ONLY

APPROVAL FOR THESE PLANS BY DUNKIN' BRANDS DOES NOT IMPLY THAT DUNKIN' BRANDS HAS REVIEWED THEM FOR CONFORMITY TO APPLICABLE CODES OR REGULATIONS

- APPROVED
- APPROVED AS NOTED: Submit Record Copy for Archives
- DISAPPROVED AS NOTED: Revise and Resubmit
- INCOMPLETE INFORMATION: Add requested information and resubmit

DUNKIN' BRANDS
Construction Manager

Date: _____

Notes:

ADA STATEMENT

I HEREBY CERTIFY TO THE BEST OF MY UNDERSTANDING THAT THE PLANS AND DRAWINGS FOR THIS PROJECT WERE DRAWN IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, INCLUDING, BUT NOT LIMITED TO, THE AMERICANS WITH DISABILITIES ACT (THE "ADA"), THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND ANY STATE OR LOCAL ACCESSIBILITY CODES, REGULATIONS, OR STANDARDS.

ARCHITECT'S SIGNATURE HERE _____ Date: _____

BUILDING DATA

PROJECT AREA : 3,858 SQ. FT.
BUILDING HEIGHT: 20'-0"
NUMBER OF STORIES: 1
ZONING DISTRICT: C
CONSTRUCTION TYPE: VB
OCCUPANCY CLASSIFICATION: ASSEMBLY A-2 (RESTAURANT)

OCCUPANCY DATA

USE:	AREA:	OCCUPANT:
STORAGE:	227 SF.	(1 PER 300SF) = 1
KITCHEN:	596 SF.	(1 PER 200SF) = 3
DINING ROOM:	350 SF.	(1 PER 155SF) = 24
TOTAL:	1,211 SF.	28 OCCUPANTS

TRAVEL DISTANCE

# OF EXITS	ALLOWABLE:	ACTUAL:
	2	2
MAXIMUM DISTANCE TO EXIT:	300'-0"	75'-0"

FIRE PROTECTION

PROPOSED FIRE ALARM: NO
PROPOSED SPRINKLER: NO

DUNKIN DONUTS DATA

REST ROOMS:	NUMBER
NUMBER OF RESTROOMS	2
PUBLIC ACCESS TO REST ROOMS	Y
ACCESSIBLE REST ROOMS	Y

DRIVE-THRU:

YES/NO	Y
NUMBER OF DRIVE THRU WINDOWS	1
MENU BOARD SIZE (SINGLE, COMBO)	DD
CAR LENGTHS FROM MENU TO WINDOW	6
STACKING (TOTAL # OF VEHICLES)	7
ESCAPE LANE	N
DRIVE THRU TIMER SYSTEM	T.B.D.

SEATING:

# OF TABLES	5
# OF SEATS	16
# OF BARRIER FREE SEATING UNITS	1
STAND UP COUNTERS (Y/N)	N

IMAGE TYPE:

SINGLE BRAND/ COMBO (DD-BR-DD/BR) DD NEXT GEN

KEY MAP



REVIEWED FOR DESIGN CONFORMANCE ONLY

INDEX OF DRAWINGS

&	AND	GA.	GAUGE	Q.T.	QUARRY TILE
@	AT	GALV.	GALVANIZED	QTY.	QUANTITY
A/C	AIR CONDITIONING	GYP. BD.	GYP. BOARD	R.A.	RADIUM
A.D.	AREA DRAIN	HDWD.	HARDWOOD	RAD.	RADIUS
ALUM.	ALUMINUM	HDR.	HEADER	REF.	REFRIGERATOR
A.F.F.	ABOVE FINISH FLOOR	H.M.	HOLLOW METAL	REINF.	REINFORCING
ALT.	ALTERNATE	HORIZ.	HORIZONTAL	REV.	REVISION
APPROX.	APPROXIMATE	HGT.	HEIGHT	REQ'D	REQUIRED
BD.	BOARD	I.D.	INSIDE DIAMETER	RESIL.	RESILIENT
BLDG.	BUILDING	INSUL.	INSULATION	RM.	ROOM
BM	BEAM	INT.	INTERIOR	R.O.	ROUGH OPENING
BSMT.	BASEMENT	JT.	JOINT	SCHED.	SCHEDULE
BTWN	BETWEEN	KIT.	KITCHEN	SEC.	SECTION
BOT.	BOTTOM	LAM.	LAMINATE	S.F.	SQUARE FOOT
C.L.	CENTER LINE	LAV.	LAVATORY	SHT.	SHEET
C.T.	CERAMIC TILE	L.T.	LIGHT	SIM.	SIMILAR
CLS.	CLOSET	MAS.	MASONRY	SPEC.	SPECIFICATION
CLOS.	CLOSET	MAX.	MAXIMUM	SQ.	SQUARE
CM	CONSTRUCTION MGR.	MECH.	MECHANICAL	S.S.	STAINLESS STEEL
CMU	CONC. MASONRY UNIT	MTL.	METAL	STD.	STANDARD
COL.	COLUMN	MFR.	MANUFACTURER	STL.	STEEL
COMBO	DUNKIN'/BASKIN DUNKIN'/TOGO'S	MIN.	MINIMUM	STRUCT.	STRUCTURAL
CONC.	CONCRETE	MISC.	MISCELLANEOUS	SUSP.	SUSPENDED
CONT.	CONTINUOUS	M.O.	MASONRY OPENING	TEL.	TELEPHONE
CONST.	CONSTRUCTION	MTD.	MOUNTED	THK.	THICK
C.S.	CONSTRUCTION SPECIFICATIONS	N.I.C.	NOT IN CONTRACT	THRU.	THROUGH
D.B.I.	DUNKIN' BRANDS INC.	NO.	NUMBER	T.O.P.	TOP OF PLATE
DEPT.	DEPARTMENT	NOM.	NOMINAL	T.O.S.	TOP OF STEEL
DTL.	DETAIL	N.T.S.	NOT TO SCALE	T.O.SL.	TOP OF SLAB
D.F.	DRINKING FOUNTAIN	O.A.	OVERALL	TRT.	TREATED
DIA.	DIAMETER	O.C.	ON CENTER	TYP.	TYPICAL
DIM.	DIMENSION	O.D.	OUTSIDE DIAMETER	V.C.B.	VINYL COMPOSITION BASE
DISP.	DISPENSER	OPNG.	OPENING	V.C.T.	VINYL COMPOSITION TILE
DN.	DOWN	OPT.	OPTIONAL	VERT.	VERTICAL
DR.	DOOR	PL.	PLATE	V.I.F.	VERIFY IN FIELD
D.S.	DOWN SPOUT	PLAM.	PLASTIC LAMINATE	V.W.C.	VINYL WALL COVERING
DWG.	DRAWING	PLUMB.	PLUMBING	W/	WITH
EA.	EACH	PLYVD.	PLYWOOD	W.C.	WATER CLOSET
EL.	ELEVATION	PR.	PAIR	WD.	WOOD
ELEC.	ELECTRICAL	PROP.	PROPERTY	W/O	WITHOUT
EQ.	EQUAL	P.S.F.	PER SQUARE FOOT	WP.	WATERPROOFING
EQUIP.	EQUIPMENT	P.S.I.	PER SQUARE INCH	WT.	WEIGHT
EXIST.	EXISTING	PTD.	PAINTED	WWM.	WELDED WIRE MESH
EXT.	EXTERIOR	P.V.C.	POLY VINYL CHLORIDE		
F.D.	FLOOR DRAIN				
FIN.	FINISH				
FL.	FLOOR				
F.O.	FACE OF				
FT.	FOOT				
FURN.	FURNITURE				

SHEET	SHEET NAME
T1.0	TITLE SHEET/ ARCHITECTURAL DATA
GN1.1	CONSTRUCTION SPECIFICATIONS
GN1.2	CONSTRUCTION SPECIFICATIONS CONTINUED
GN1.3	CONSTRUCTION SPECIFICATIONS CONTINUED
GN1.4	CONSTRUCTION SPECIFICATIONS CONTINUED
GN1.5	CONSTRUCTION SPECIFICATIONS CONTINUED
GN1.6	CONSTRUCTION SPECIFICATIONS CONTINUED
GN1.7	CONSTRUCTION SPECIFICATIONS CONTINUED
GN1.8	CONSTRUCTION SPECIFICATIONS CONTINUED
GN1.9	A.D.A. CLEARANCES
GN2.1	MASTER SCHEDULE
GN2.2	MASTER SCHEDULE CONTINUED
GN2.3	MASTER SCHEDULE CONTINUED
GN2.4	MASTER SCHEDULE CONTINUED
GN2.5	NATIONAL ACCOUNTS
C1.0	TITLE SHEET
C2.0	SPECIFICATIONS SHEET
C3.0	EXISTING CONDITIONS/DEMOLITION PLAN
C4.0	STORM WATER POLLUTION PREVENTION PLAN
C4.1	SWPPP DETAILS
C4.2	SWPPP DETAILS
C5.0	SITE & GRADING PLAN
C6.0	SITE UTILITY PLAN
C7.0	SITE GEOMETRIC & PAVING PLAN
C8.0	CONSTRUCTION DETAILS & SEWER DETAILS
C9.0	DRAINAGE AREA MAPS
C10.0	BMP DRAINAGE AREA MAP & DETAILS
C10.1	BMP DETAILS
SP1.1	SCHEMATIC SITE PLAN & SIGN ELEVATION
SP1.2	PROPOSED DRIVE-THRU LAYOUT & SIGNAGE DETAILS
SP1.3	SITE DETAILS
SP1.4	TRASH ENCLOSURE DETAILS
LP1.1	LANDSCAPE PLAN
IR1.1	IRRIGATION PLAN
S1.1	FOUNDATION PLAN
S1.2	FRAMING PLAN, ROOF FRAMING PLAN AND STRUCTURAL DETAILS
A1.1	FLOOR PLAN & NOTES
A1.2	DIMENSIONED FLOOR PLAN
A2.0	REFLECTED CEILING PLAN, SCHEDULES & NOTES
A2.1	CEILING DETAILS
A3.0	FINISH FLOOR PLAN, DETAILS, & NOTES
A4.0	ROOF PLAN & DETAILS
A5.0	EXTERIOR ELEVATIONS
A5.1	EXTERIOR ELEVATIONS
A6.0	BUILDING SECTIONS
A6.1	BUILDING SECTIONS
A6.2	BUILDING SECTIONS
A7.0	WALL SECTIONS
A7.1	WALL SECTIONS
A7.2	WALL SECTIONS
A7.3	DETAILS
A7.4	DETAILS
A7.5	DETAILS
A8.0	INTERIOR ELEVATIONS
A8.1	INTERIOR ELEVATIONS
A8.1	DETAILS
A8.2	PARTITION TYPES
K1.1	EQUIPMENT PLAN & SCHEDULES
K1.2	EQUIPMENT SCHEDULE
E1.0	ELECTRICAL LIGHTING PLAN
E2.0	ELECTRICAL POWER PLAN AND ELEVATIONS
E3.0	TECHNOLOGY POS PLANS AND SCHEDULES
E3.1	TECHNOLOGY DETAILS
E4.0	ELECTRICAL SCHEDULES AND DETAILS
E5.0	ELECTRICAL AUTOMATIC CONTROL PANEL
E6.0	ELECTRICAL SITE PLAN
M-1.0	MECHANICAL FLOOR AND ROOF PLANS
M-2.0	MECHANICAL SCHEDULES AND DETAILS
M-3.0	MECHANICAL HOOD INFORMATION
M-4.0	CAPTIVEAIRE HOOD DATA
P-1.0	PLUMBING PLANS
P-2.0	PLUMBING RISER AND DETAILS
P-3.0	PLUMBING PLANS
P-4.0	PLUMBING WATER FILTRATION

GRAPHIC SYMBOLS

SECTION	INTERIOR ELEV. INDICATOR
DETAIL	PARTITION TYPE
DOOR	COLUMN REFERENCE GRIDS
KEY NOTE	EQUIPMENT TAG
FINISHES	ROOM

DESIGN CODES

INTERNATIONAL BUILDING CODE (IBC) 2015, AS AMENDED BY ST. LOUIS COUNTY ORDINANCE NO. 27,654
INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2015, AS AMENDED BY ST. LOUIS COUNTY ORDINANCE NO. 27,654
INTERNATIONAL RESIDENTIAL CODE (IRC) 2015 AS AMENDED BY ST. LOUIS COUNTY ORDINANCE NO. 27,654
INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC) 2015, AS AMENDED BY ST. LOUIS COUNTY ORDINANCE NO. 27,617
INTERNATIONAL FUEL GAS CODE (IFGC) 2015, AS AMENDED BY ST. LOUIS COUNTY ORDINANCE NO. 27,619
INTERNATIONAL MECHANICAL CODE (IMC), AS AMENDED BY ST. LOUIS COUNTY ORDINANCE NO. 27,619
UNIFORM PLUMBING CODE (2015), AS AMENDED BY ST. LOUIS COUNTY ORDINANCE NO. 27,474
NATIONAL ELECTRIC CODE(2014), AS AMENDED BY ST. LOUIS COUNTY ORDINANCE NO. 27,430
THE NATIONAL ELECTRIC CODE IS ONLY AVAILABLE FOR IN-PERSON VIEWING AT CITY HALL

SPACE INTENTIONALLY LEFT BLANK FOR CITY APPROVAL / STAMPS

dunkin'
brands.

ARCHITECT
kolbrook design
828 DANB'S ST., SUITE 300
EVANSTON, IL 60201
OFFICE 847-482-1992 | FAX: 312-453-9899

CIVIL ENGINEER
STOCK & ASSOCIATES CONSULTING ENGINEERING
STRUCTURAL ENGINEER
LANDSCAPE ARCHITECT
PAMELA SELF LANDSCAPE ARCHITECTS
MEP ENGINEER
NEW YORK ENGINEERS
DEVELOPER

SEAL
STATE OF MISSOURI
STEVEN A. KOLBER
NUMBER A-2014000361
ARCHITECT
EXP 12/31/2020

PROJECT: **DD TWIN OAKS, MO**

1410 BIG BEND ROAD
TWIN OAKS, MO 63088
PC #: 359904

DRAWING ISSUE
DESCRIPTION DATE
PER COMMENTS 08/07/2020

DRAWN BY: VM, CD, ED
CHECKED BY: SWB
SHEET TITLE

TITLE SHEET/
ARCHITECTURAL DATA

SHEET NO.
T1.0

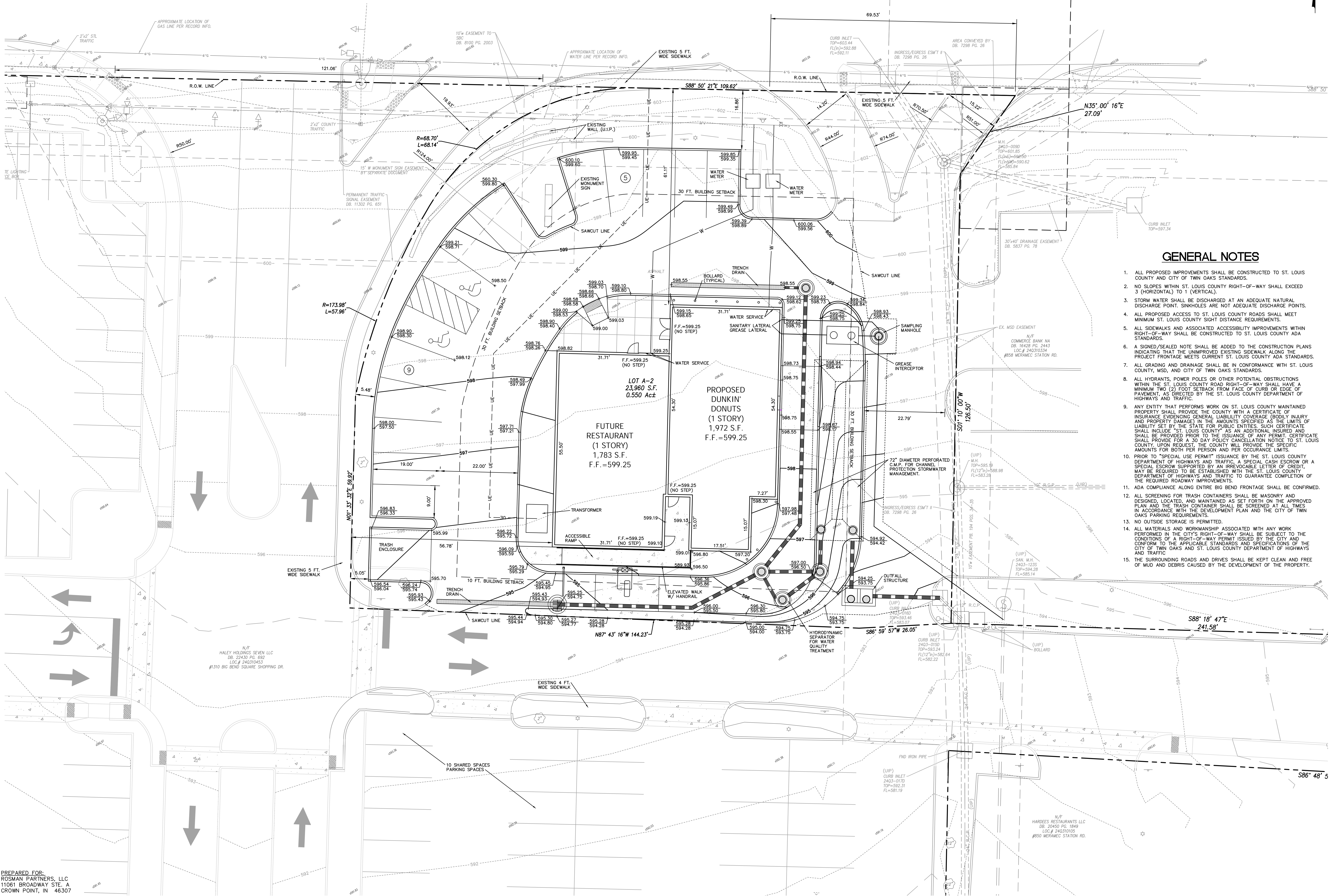
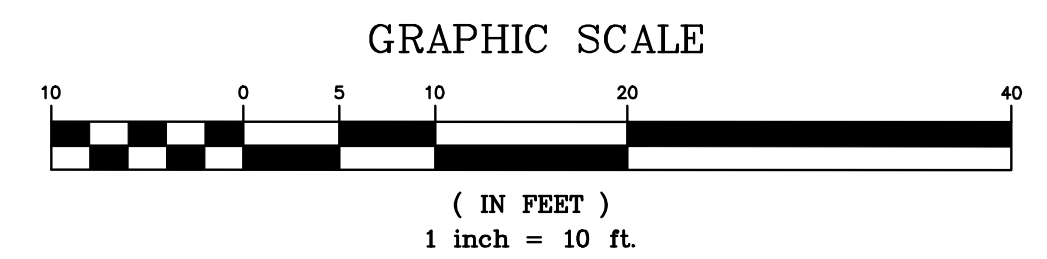
NOTE:
SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD) ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP NUMBER 29189C0303K WITH AN EFFECTIVE DATE OF 02/04/2015.

NOTE:
FUTURE MAINTENANCE RESPONSIBILITY FOR THE STORMWATER MANAGEMENT AREAS WILL BE THAT OF THE OWNER/OPERATOR OF THE SITE.

PARKING:
REQUIRED:
1 SPACE/200 S.F. = 1 SPACE/200 S.F. x 3,750 S.F. = 19 SPACES
1 SPACE/2 EMPLOYEES = 1 SPACE/2 EMP. x 10 EMP. = 5 SPACES
TOTAL = 24 SPACES

PROVIDED:
14 SPACES ONSITE (12 STANDARD SPACES + 2 ACCESSIBLE SPACES)
10 SHARED SPACES OFFSITE (PARKING LOT SOUTH OF BUILDING)

COVERAGE CALCULATIONS:
TOTAL SITE AREA: 23,960 S.F. (0.55 Ac.)
BUILDING: 3,750 S.F.
SIDEWALK: 812 S.F.
PAVEMENT: 14,115 S.F.
GRASS: 5,278 S.F.
PERCENT GREENSPACE:
[5,278 / 23,960] x 100 = 22.03%



- GENERAL NOTES**
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY AND CITY OF TWIN OAKS STANDARDS.
 - NO SLOPES WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL).
 - STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
 - ALL PROPOSED ACCESS TO ST. LOUIS COUNTY ROADS SHALL MEET MINIMUM ST. LOUIS COUNTY SIGHT DISTANCE REQUIREMENTS.
 - ALL SIDEWALKS AND ASSOCIATED ACCESSIBILITY IMPROVEMENTS WITHIN RIGHT-OF-WAY SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY ADA STANDARDS.
 - A SIGNED/SEALED NOTE SHALL BE ADDED TO THE CONSTRUCTION PLANS INDICATING THAT THE UNIMPROVED EXISTING SIDEWALK ALONG THE PROJECT FRONTAGE MEETS CURRENT ST. LOUIS COUNTY ADA STANDARDS.
 - ALL GRADING AND DRAINAGE SHALL BE IN CONFORMANCE WITH ST. LOUIS COUNTY, MSD, AND CITY OF TWIN OAKS STANDARDS.
 - ALL HYDRANTS, POWER POLES OR OTHER POTENTIAL OBSTRUCTIONS WITHIN THE ST. LOUIS COUNTY ROAD RIGHT-OF-WAY SHALL HAVE A MINIMUM TWO (2) FOOT SETBACK FROM FACE OF CURB OR EDGE OF PAVEMENT, AS DIRECTED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC.
 - ANY ENTITY THAT PERFORMS WORK ON ST. LOUIS COUNTY MAINTAINED PROPERTY SHALL PROVIDE THE COUNTY WITH A CERTIFICATE OF INSURANCE EVIDENCING GENERAL LIABILITY COVERAGE (BODILY INJURY AND PROPERTY DAMAGES) IN THE AMOUNTS SPECIFIED AS THE LIMITS OF LIABILITY SET BY THE STATE FOR PUBLIC ENTITIES. SUCH CERTIFICATE SHALL INCLUDE "ST. LOUIS COUNTY" AS AN ADDITIONAL INSURED AND SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF ANY PERMIT. CERTIFICATE SHALL PROVIDE FOR A 30 DAY POLICY CANCELLATION NOTICE TO ST. LOUIS COUNTY. UPON REQUEST, THE COUNTY WILL PROVIDE THE SPECIFIC AMOUNTS FOR BOTH PER PERSON AND PER OCCURRENCE LIMITS.
 - PRIOR TO "SPECIAL USE PERMIT" ISSUANCE BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW OR A SPECIAL ESCROW SUPPORTED BY AN IRREVOCABLE LETTER OF CREDIT, MAY BE REQUIRED TO BE ESTABLISHED WITH THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC TO GUARANTEE COMPLETION OF THE REQUIRED ROADWAY IMPROVEMENTS.
 - ADA COMPLIANCE ALONG ENTIRE BIG BEND FRONTAGE SHALL BE CONFIRMED.
 - ALL SCREENING FOR TRASH CONTAINERS SHALL BE MASONRY AND DESIGNED, LOCATED, AND MAINTAINED AS SET FORTH ON THE APPROVED PLAN AND THE TRASH CONTAINER SHALL BE SCREENED AT ALL TIMES IN ACCORDANCE WITH THE DEVELOPMENT PLAN AND THE CITY OF TWIN OAKS PARKING REQUIREMENTS.
 - NO OUTSIDE STORAGE IS PERMITTED.
 - ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH ANY WORK PERFORMED IN THE CITY'S RIGHT-OF-WAY SHALL BE SUBJECT TO THE CONDITIONS OF A RIGHT-OF-WAY PERMIT ISSUED BY THE CITY AND CONFORM TO THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OF TWIN OAKS AND ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC.
 - THE SURROUNDING ROADS AND DRIVES SHALL BE KEPT CLEAN AND FREE OF MUD AND DEBRIS CAUSED BY THE DEVELOPMENT OF THE PROPERTY.

AMENDED FINAL DEVELOPMENT PLAN
DD TWIN OAKS, MO
1410 BIG BEND ROAD
TWIN OAKS, MISSOURI
63088



DATE: 07/24/20
GEORGE M. STOCK E-25116
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: 60096

REVISIONS:

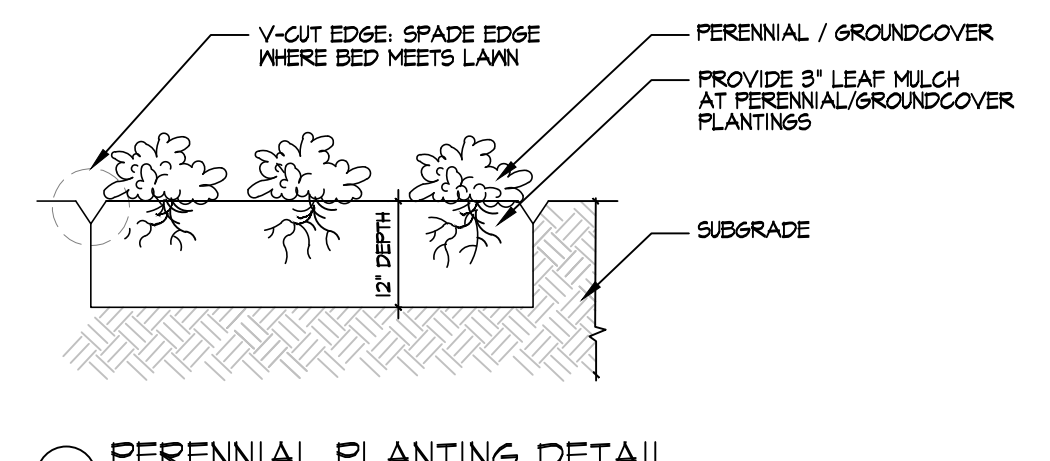
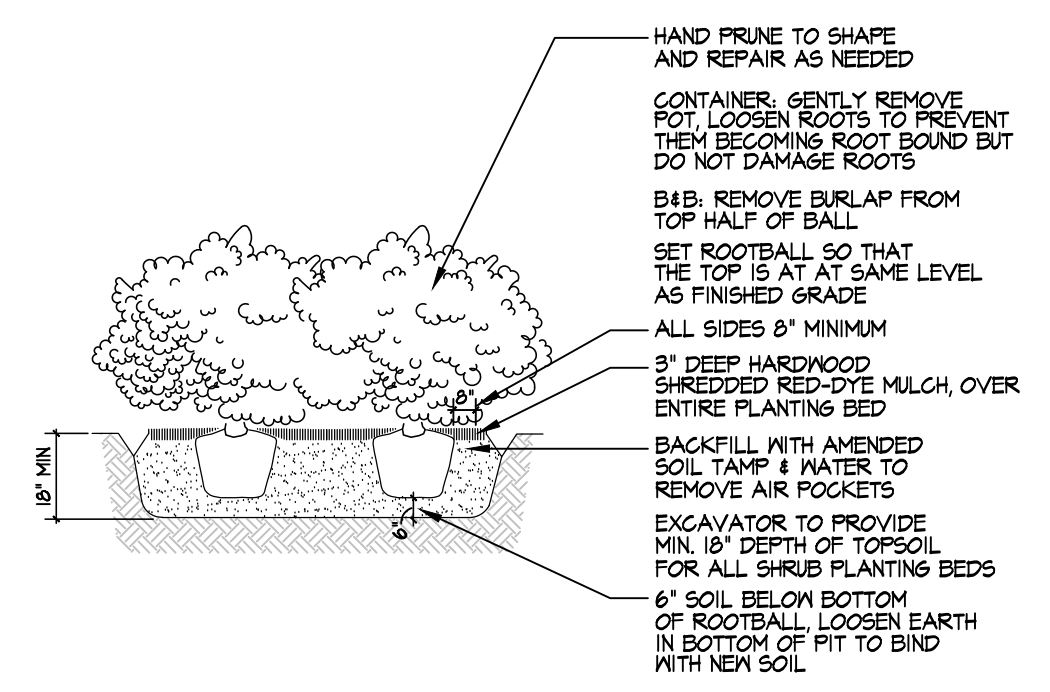
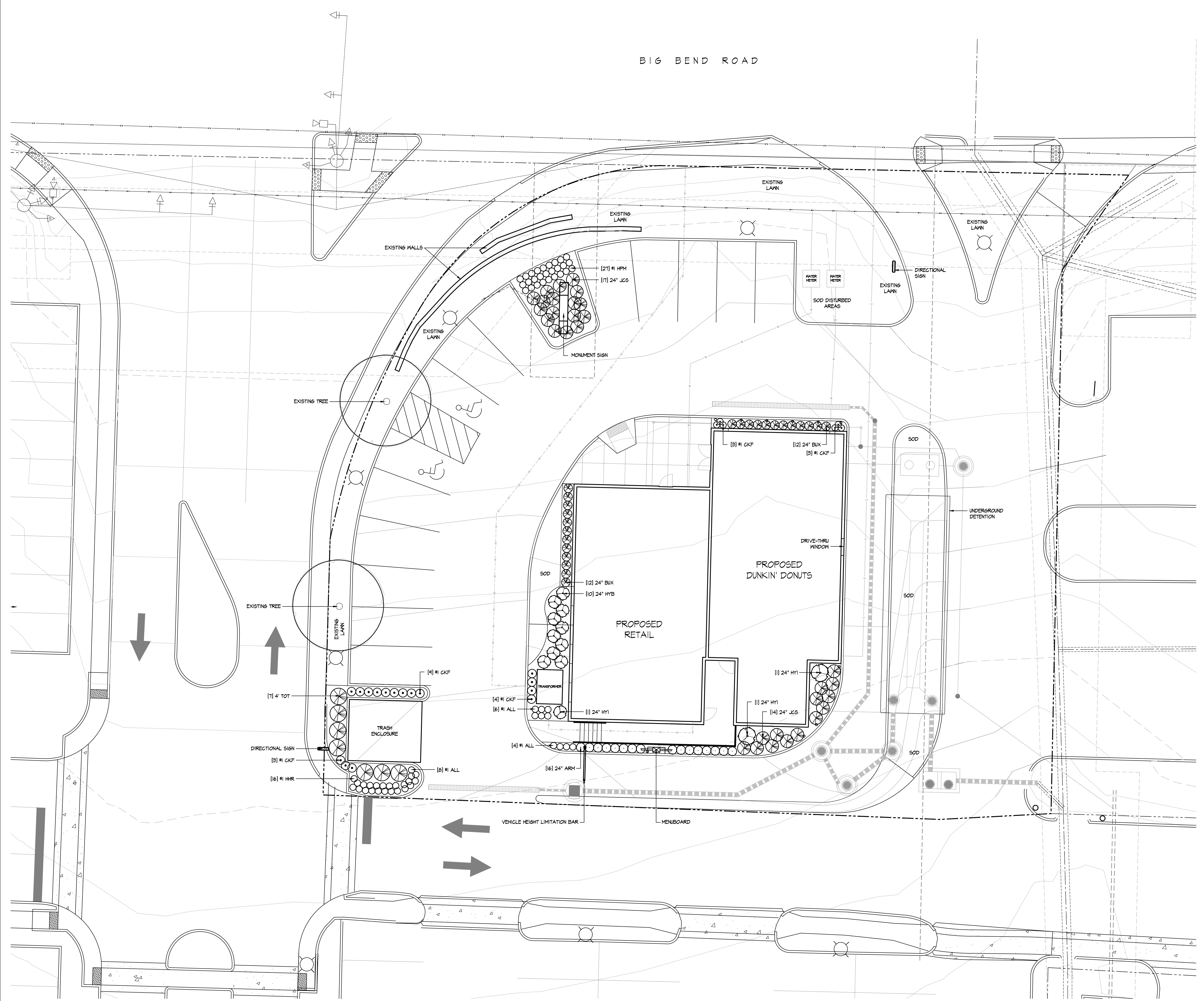
NO.	DESCRIPTION	DATE
1	City Comments	07/24/20

DATE: 06/29/20
DRAWN BY: E.J.F.
CHECKED BY: G.M.S.
SCALE: 1"=20'-0" (SHEET)
SHEET NO.: 240
SHEET TITLE: AMENDED FINAL DEVELOPMENT PLAN
SHEET NO.: C1

PREPARED FOR:
ROSANI PARTNERS, LLC
11061 BROADWAY STE. A
CROWN POINT, IN 46307

N/E
HALEY HOLDINGS SEVEN LLC
DB: 22430 PG. 692
LOC # 240370453
#1310 BIG BEND SQUARE SHOPPING DR.

N/E
HARDEES RESTAURANTS LLC
DB: 20450 PG. 1849
LOC # 240370108
#850 MERAMEC STATION RD.



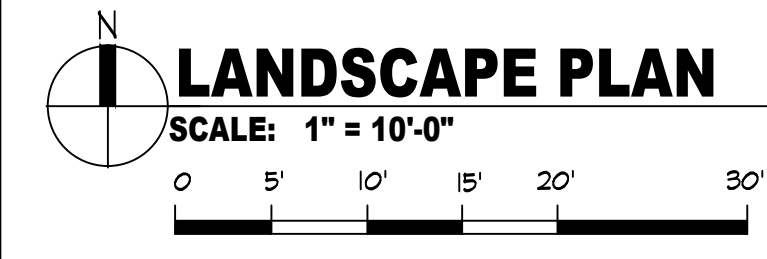
LANDSCAPE NOTES

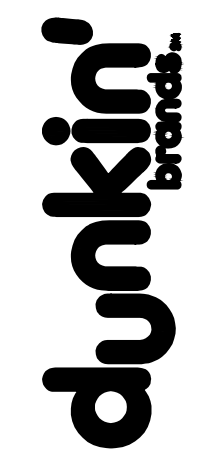
- In general, contractor should become familiar with the site and with scope of work prior to the submission of bid proposal and should notify Landscape Architect (LA) and/or owner of any discrepancies between the drawings and existing site conditions.
- Bid Proposal shall show unit prices and quantities for all items shown on this drawing.
- Contractor shall follow and conform to the City of Twin Oaks, MO building codes.
- Job site safety and means and methods of construction are the responsibility of the Contractor.
- Contractor shall excavate and dispose of excavated materials off site.
- Contractor shall be responsible for any damage to buildings or site as a result of executing the work which is part of this contract or additional work which may be added to this contract at a later date.
- Site shall be kept clean at all times and shall be thoroughly cleaned at the end of each working day.
- Driveways shall be unobstructed at all times and consideration for the neighboring properties maintained.
- Determine and verify exact locations of all underground utilities in the field before work begins.
- Plants and other materials are quantified and summarized for the convenience of the owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn.
- Landscape Architect not responsible for installation permits unless otherwise noted.
- Determine subsoil conditions and subsurface drainage requirements of all plant material.
- Retainage: Contractor shall clear existing plant material and weeds as needed where new planting is provided per plan. New topsoil shall be provided and/or amended as needed to fine grade planting areas.
- Topsoil: Any new topsoil shall be fertile, pulverized, friable, natural loam, surface soil, free of subsoil, clay lumps, brush, weeds, stones larger than 1" in any dimension and other extraneous or toxic matter harmful to plant growth. Soil shall have acidity range of pH 5.7, not less than 3% humus as determined by loss on ignition of moisture free samples dried at 100 degrees centigrade, less than 60% of material passing VSS #100 sieve consists of clay by dried weights of material.
- Amend Existing Soil: Amend existing soil in all planting beds. Amended soil shall be 25% soil conditioner, 25% clean sand and 50% existing soil. Rototill amendments into planting beds.
- Plant Material: The Landscape Architect reserves the right to personally select any or all nursery stock prior to digging. All plant material shall bear the same relationship to the new grade as they bore to the previous (nursery) grade. Comply with sizing and grading standards of the latest edition "American Standard for Nursery Stock". All plants are subject to inspection by the Landscape Architect at the job site or nursery.
- Plant Installation: Set plant material in the planting pit to proper grade and alignment. Set plants upright, plumb, and face to give the best appearance or relationship to each other or adjacent structure. Do not fit around trunks or stems. Do not use frozen or mushy material for backfilling. Supply a minimum of 12" of soil mix on all sides of rootballs for trees and shrubs unless otherwise noted. Plant groundcover and perennials and tamp down soil around pot so pot does not heave in frost. Water in before applying mulch. Do not cover foliage with mulch. Balled roots shall be protected from drying out and care taken to prevent the ball from freezing.
- Mulch: Provide 3" loose measure of mulch throughout all planting areas excluding groundcover beds. Mulch to be 6 month old, well rotted, shredded, hardwood bark mulch, not larger than 4" in length and 1/2" in width, free of wood chips and sawdust.
- Irrigation: Provide automatic irrigation system for all new plantings.
- Sod: Supply and install new bluegrass blend sod as shown on plan. Place sod on min. 4" depth rolled, fine graded, pulverized topsoil. Guarantee new sod for 30 days. Time delivery of sod so that sod will be placed within 24 hours after shipping. Protect sod against drying and breaking of rolled strips. If new sod is laid late in the Fall, the guarantee shall be extended into the Spring of the next growing season.
- Repair Disturbed Areas: All disturbed areas shall be repaired and fine graded and toppedressed with a minimum 4" depth, rolled, pulverized topsoil. All excess soil not used in repair of disturbed areas shall be removed from site. Sod all repaired areas.
- Bed Edge: Spade edge where bed meets lawn if no edging is installed.
- Upon completion of all landscape work, the LC shall notify the LA and owner for approval and acceptance. LC shall guarantee all work and plant material for a minimum of one year, after acceptance by the LA and owner, of completed landscape work.

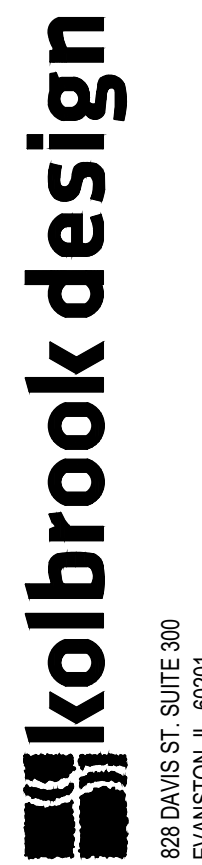
PLANT LIST

SHRUBS KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
ARM	16	24"	<i>Aronia melanocarpa</i> 'CONNAH165'	Low Shrub Chokeberry	Full branching to ground
BUX	24	24"	<i>Buxus x 'Serpens Virens'</i>	Green Velvet Boxwood	Full branching to ground
HYB	10	24"	<i>Hydrangea paniculata</i> 'Bobo'	Bobo Hydrangea	Full branching to ground
HY1	3	24"	<i>Hydrangea arborescens</i> 'Alabaster'	Individual Hydrangea	Full branching to ground
JCS	31	24"	<i>Juncus chinensis</i> var. 'sargentii'	Sargent Juniper	Full branching to ground
TOT	7	4"	<i>Thuja occidentalis</i> 'Teehrill'	Mission Arborvitae	Full branching to ground

PERENNIALS AND ORNAMENTAL GRASSES KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
ALL	15	#	<i>Allium Millenium</i>	Millenium Allium	Container
CKF	22	#	<i>Galatragrostis x a. 'Karl Foerster'</i>	Feather Reed Grass	Container
HRR	6	#	<i>Hemerocallis 'Happy Returns'</i>	Happy Returns Daylily	Container
HPM	27	#	<i>Hemerocallis 'Pardon Me'</i>	Pardon Me Daylily	Container







808 DAVIS ST. SUITE 300
EVANSTON, IL 60201
OFFICE 847.492.1950 | FAX 847.492.1899

ARCHITECT

CIVIL ENGINEER
STOCK & ASSOCIATES CONSULTING ENGINEERING

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT
Pamela Self Landscape Architecture

MEP ENGINEER
NEW YORK ENGINEERS

DEVELOPER

SEAL

PROJECT: **DD Twin Oaks, MO**

1410 Big Bend Road
Twin Oaks, MO 63088
PC#: 355804

ISSUING ISSUE	DATE
DESCRIPTION	07.20.20
FOR REVIEW	07.20.20
PER COMMENTS	07.27.20
PER COMMENTS	07.29.20

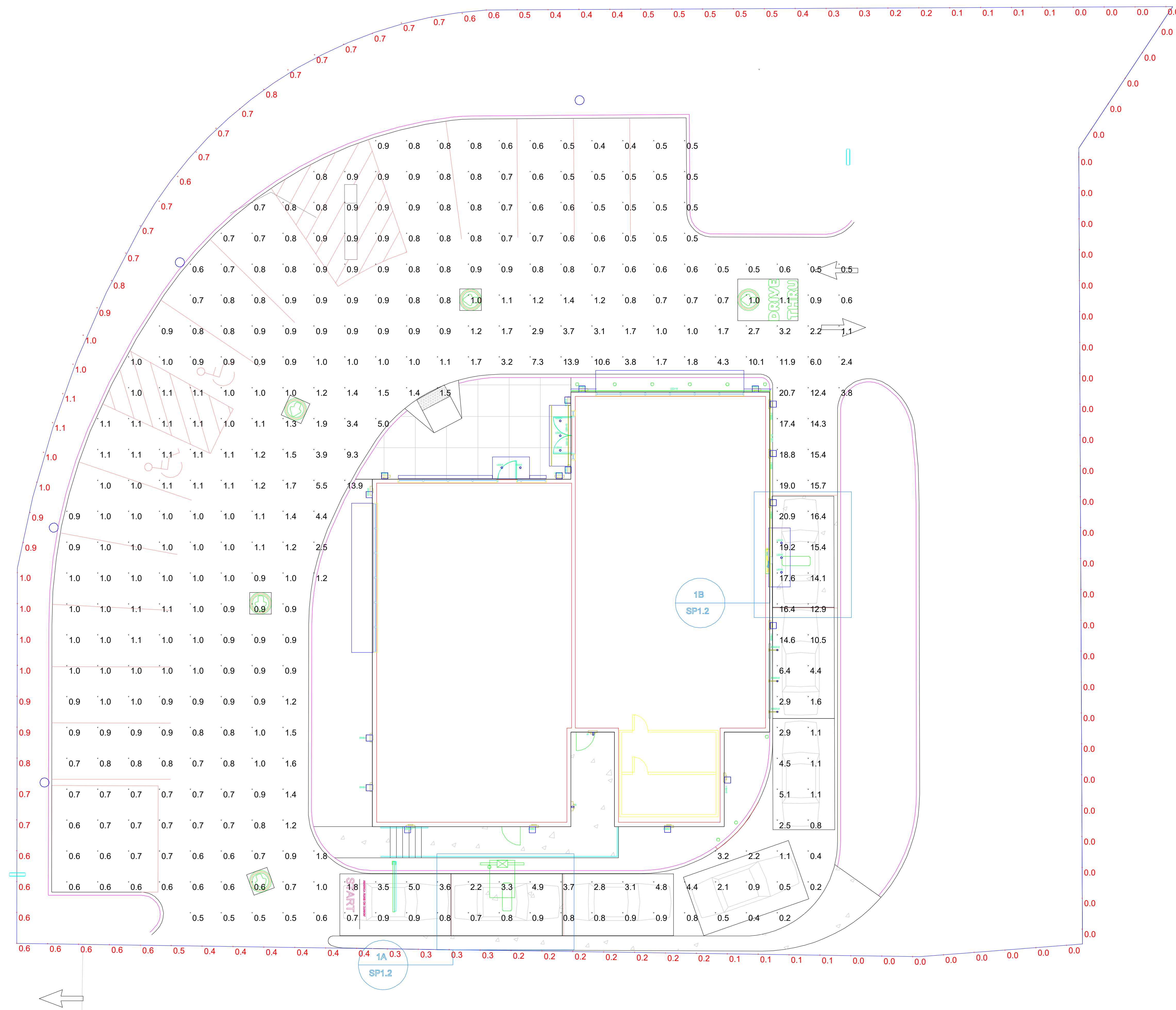
DRAWN BY: KWS
CHECKED BY: PMS
SHEET TITLE

LANDSCAPE PLAN

SHEET NO.

LP1.1

Kolbrook Job No. 1640.002 Consultant Job No.



Schedule				
Symbol	Label	Quantity	Manufacturer	Catalog Number
	H	4	Holophane	WSE2 P30 30K AS 5
	G	2	EATON - LUMARK (FORMER COOPER LIGHTING)	XTOR1B
	EWS	17	WAC Lighting	SHARK(12) A032714
	LED-2	8	DMF Lighting	DRD2M10940-DRD2TR4SWH
	WSCX-2	3	HILITE	

Plan View
Scale = 1" = 8'

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.1 fc	20.9 fc	0.2 fc	104.5:1	10.5:1
Property Line	+	0.4 fc	1.1 fc	0.0 fc	N/A	N/A

Luminaires & Lamps Furnished By Villa Lighting Inc. St Louis, MO. 63103
(800)325-0693
www.villalighting.com

The electrical contractor shall be responsible for receiving, storage, installation and wiring of light fixtures.

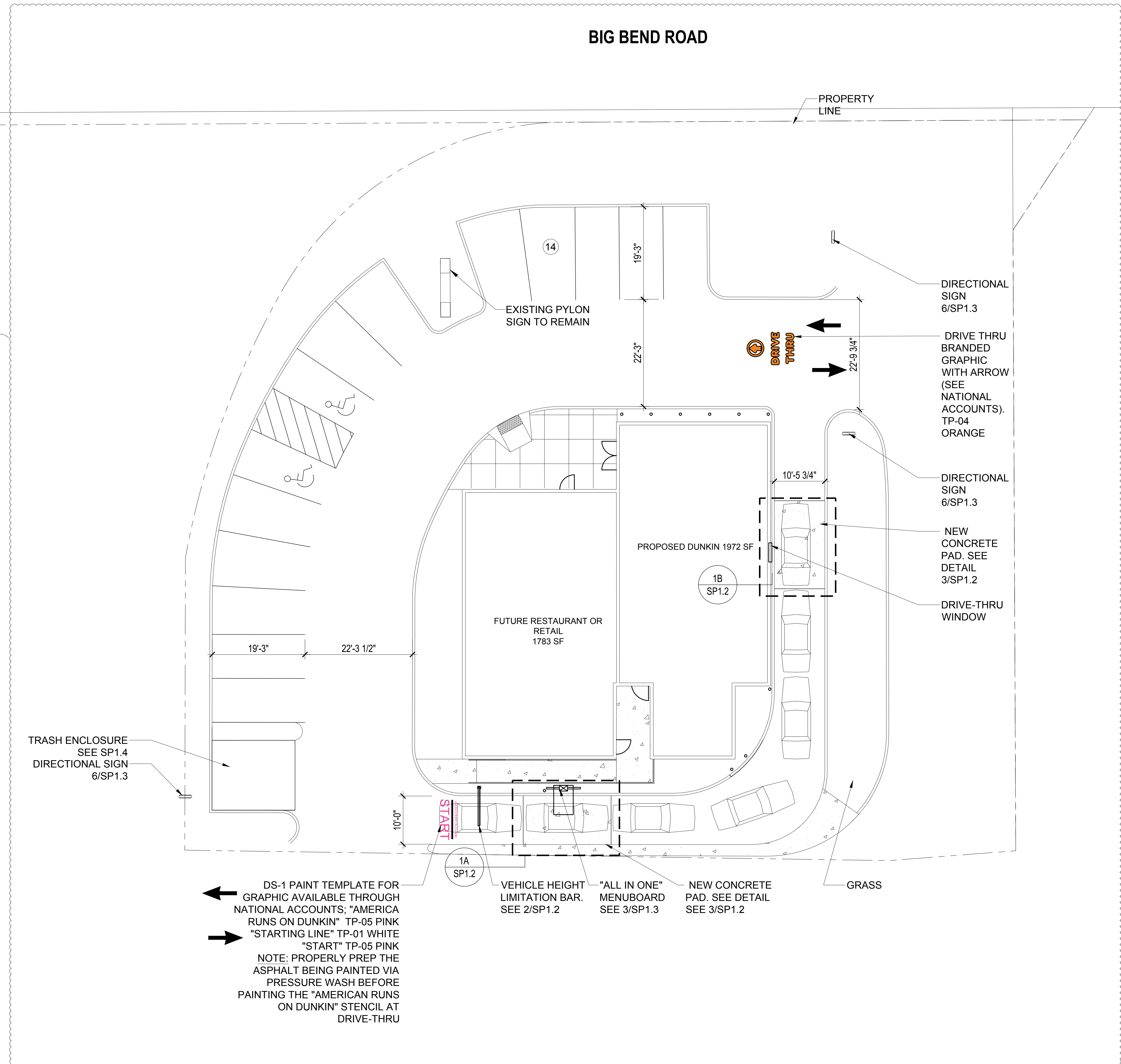
The electrical contractor shall report any damaged light fixtures or missing parts to Villa Lighting within 48 hours of receipt of light fixture package.

Design is based on current information provided at the time of request. Any changes in mounting height, mounting location, lamp wattage, lamp type, and existing field conditions that effect any of the previously mentioned will void the current layout and require a change request and recalculation. Calculations are based upon a computer simulation and actual field calculations may vary.

Fixtures mounted on 20' pole & 3' base
Light level calculated on the ground

FINISH MATERIAL SCHEDULE - Traffic Striping Paint

CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS
TP-01	PAINT	SHERWIN WILLIAMS	Pro Park	"White": B97WD2434
TP-02	PAINT	SHERWIN WILLIAMS	Pro Park	"Blue": B97LD2022
TP-03	PAINT	SHERWIN WILLIAMS	Pro Park	"Yellow": B97YD2467
TP-04	PAINT	SHERWIN WILLIAMS	Pro Park	"Orange": Custom Mix B97YD2467 CCE* Colorant 0Z 32 64 128 W1-White - 6 1 --- R4-New red 4 53 1 --- Y3-Deep Gold - 06 - 1
TP-05	PAINT	SHERWIN WILLIAMS	Pro Park	"Pink": Custom Mix B97RD2012 CCE* Colorant 0Z 32 64 128 W1-White 6 -- -- -- L1-Blue - 6 -- --



DS-1 PAINT TEMPLATE FOR GRAPHIC AVAILABLE THROUGH NATIONAL ACCOUNTS; "AMERICA RUNS ON DUNKIN" TP-05 PINK "STARTING LINE" TP-01 WHITE "START" TP-05 PINK
 NOTE: PROPERLY PREP THE ASPHALT BEING PAINTED VIA PRESSURE WASH BEFORE PAINTING THE "AMERICAN RUNS ON DUNKIN" STENCIL AT DRIVE-THRU

1 SCHEMATIC SITE PLAN
 SCALE: 1" = 20'-0"

SPACE INTENTIONALLY LEFT BLANK FOR CITY APPROVAL / STAMPS

dunkin' brands.

kolbrook design

ARCHITECT

1600 PINE ST. SUITE 200
 EVANSTON, IL 60201
 OFFICE: 847.482.1961 | FAX: 312.453.8699

CIVIL ENGINEER
 STOCK & ASSOCIATES CONSULTING ENGINEERING

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT
 PAMELA SELF LANDSCAPE ARCHITECTS

MEP ENGINEER
 NEW YORK ENGINEERS

DEVELOPER

SEAL

STATE OF MISSOURI
 STEVEN A. KOLBER
 NUMBER
 A-2014088361
 ARCHITECT
 EXP. 12/31/2020

PROJECT: **DD TWIN OAKS, MO**

1410 BIG BEND ROAD
 TWIN OAKS, MO 63088
 PC # 369804

DRAWING ISSUE

DESCRIPTION	DATE
PER COMMENTS	08/07/2020

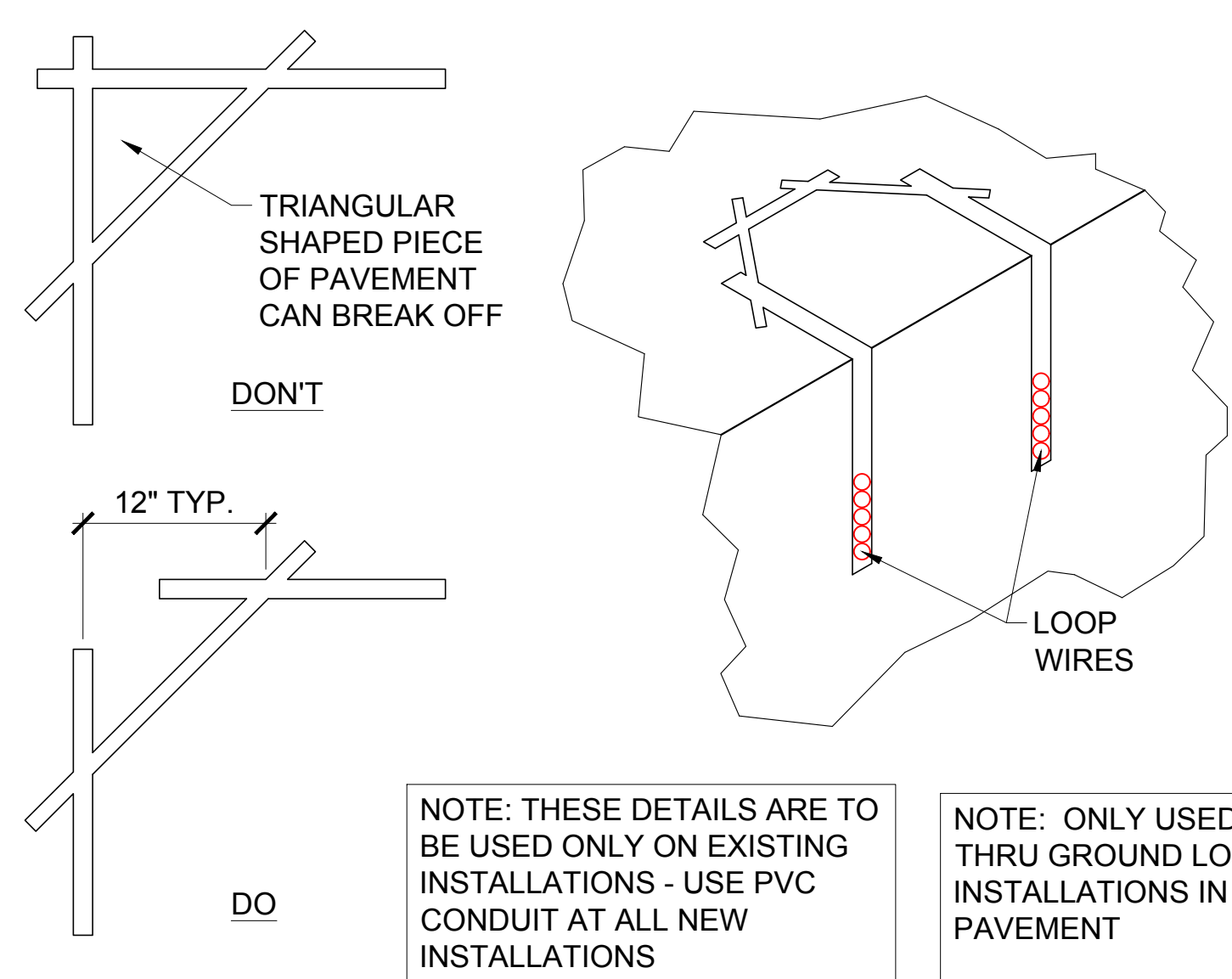
DRAWN BY: WM, CD, ED
 CHECKED BY: SWB
 SHEET TITLE:

SCHEMATIC SITE PLAN & SIGN ELEVATION

SHEET NO.

SP1.1

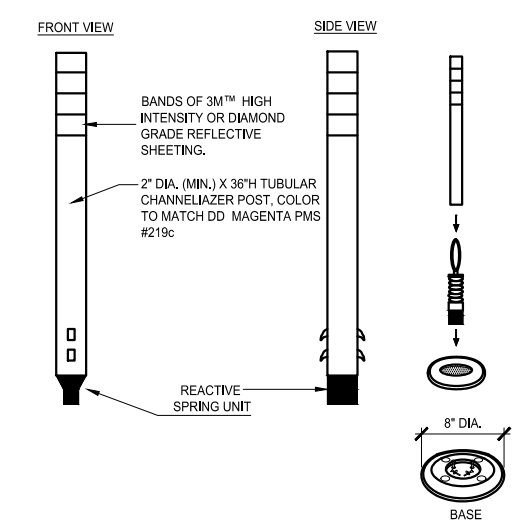
Kolbrook Job No. 1940.002 Consultant Job No. -



NOTE: THESE DETAILS ARE TO BE USED ONLY ON EXISTING INSTALLATIONS - USE PVC CONDUIT AT ALL NEW INSTALLATIONS

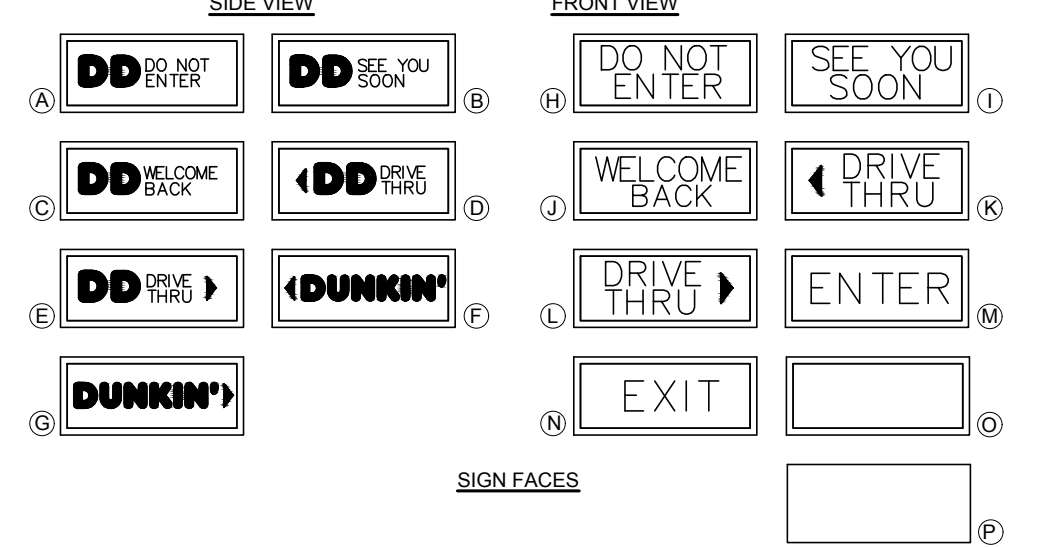
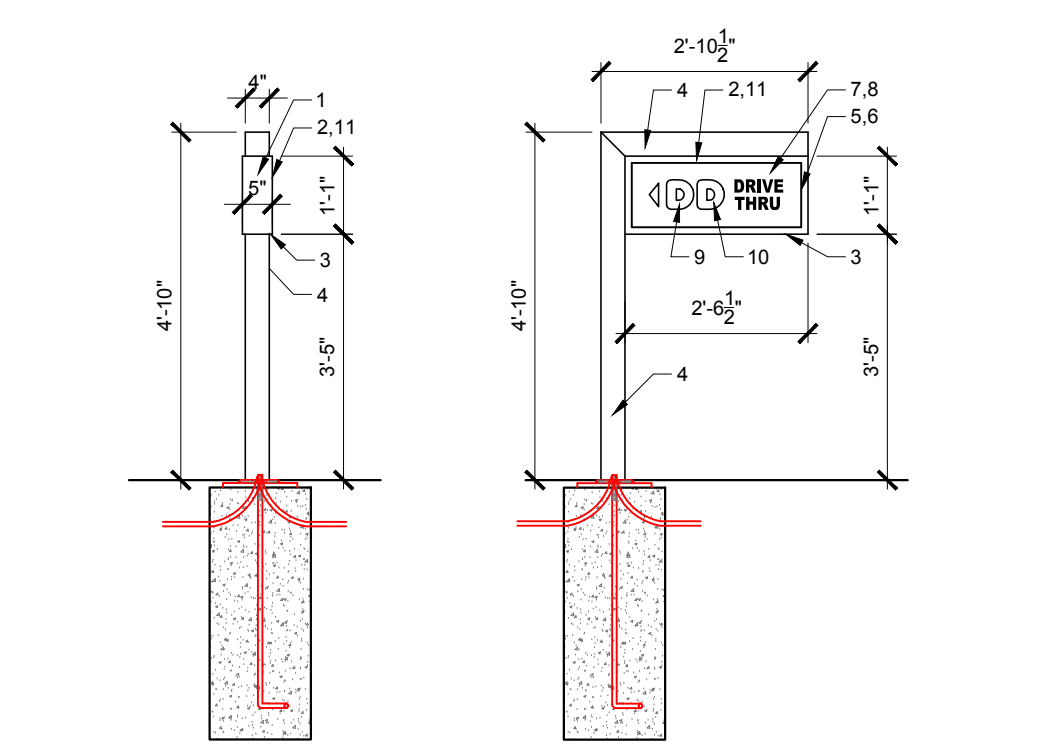
NOTE: ONLY USED FOR DRIVE THRU GROUND LOOP INSTALLATIONS IN EXISTING PAVEMENT

10 SAW CUT DETAIL
 SCALE: 1/4" = 1'-0"



NOTE:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE SPECIFICATIONS AND SUBMITTALS.
 2. ALL MATERIALS SHALL BE CONSTRUCTED OF 304 STAINLESS STEEL.
 3. ALL MATERIALS SHALL BE CONSTRUCTED OF 304 STAINLESS STEEL.
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 9. ALL MATERIALS SHALL BE CONSTRUCTED OF 304 STAINLESS STEEL.
 10. ALL MATERIALS SHALL BE CONSTRUCTED OF 304 STAINLESS STEEL.
 11. ALL MATERIALS SHALL BE CONSTRUCTED OF 304 STAINLESS STEEL.

9 LANE DELINEATOR DETAIL
 SCALE: 1/4" = 1'-0"



COLORS:

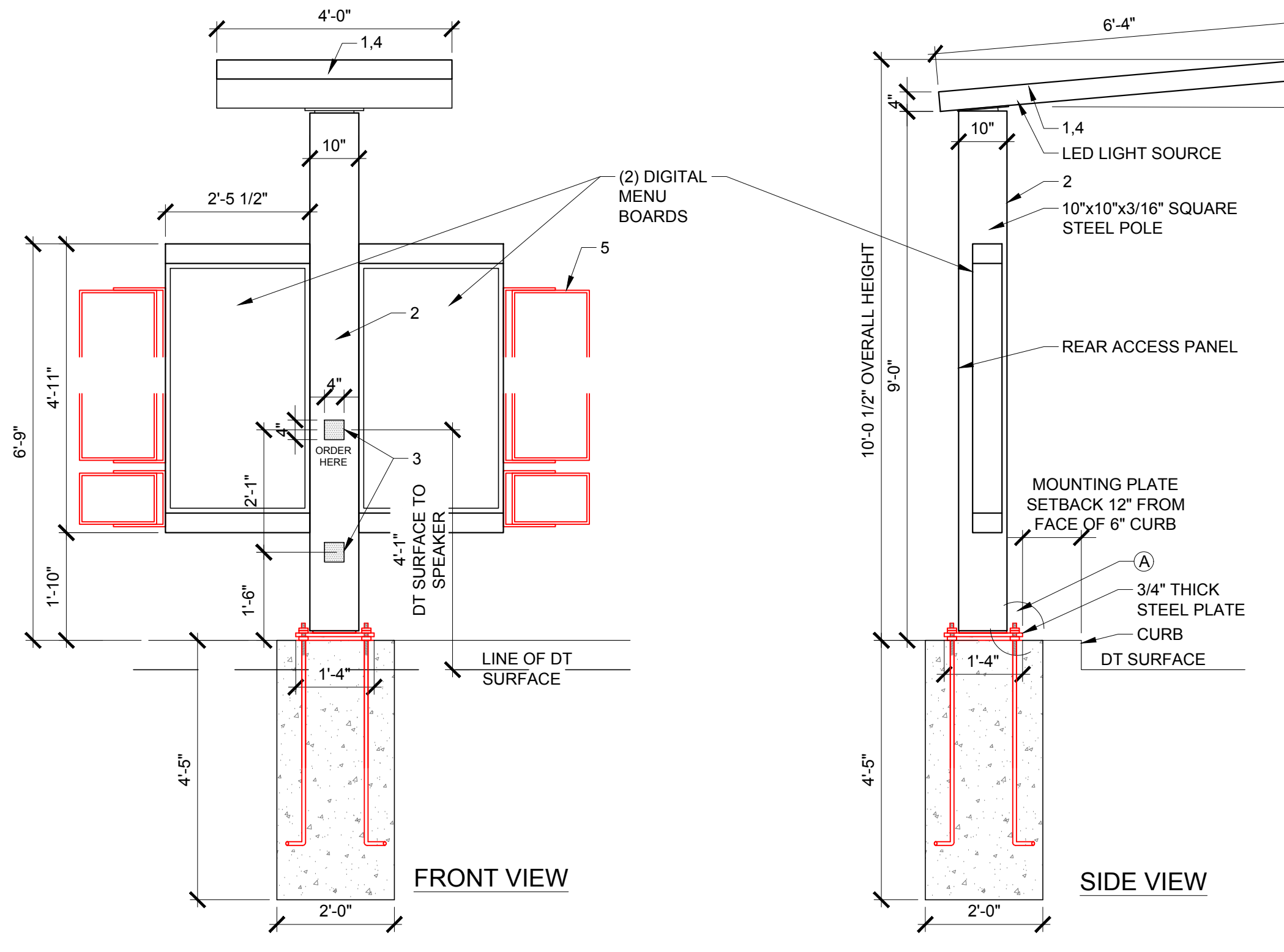
PMS	VINYL PAINT
PMS 165 DD ORANGE	TRANS 3M #3630-3132
PMS 219 DD PINK	TRANS 3M #3630-1379
PMS 7540C DD GRAY	TRANS 3M #7725-41
PMS COOL GRAY 1C	TRANS 3M #7725-11

NOTE:
 SEE DUNKIN' BRANDS WEBSITE, <http://extranet.dunkinbrands.com>, FOR COMPLETE INFORMATION AND DETAILS

NOTES:
 1. 5" x 1" x .003" ALUMINUM SPACE FRAME.
 2. 1" ALUMINUM RETAINER.
 3. 1" x 1" x 1/8" ALUMINUM ANGLE.
 4. 4" x 4" x .075" SQUARE TUBE SUPPORT PAINTED ORANGE PMS 165C (OR CE REPLACEMENT EQUIVALENT).
 5. GE TETRA MAX 700K WHITE LED'S (OR CE REPLACEMENT EQUIVALENT).
 6. LED POWER SUPPLIES, AS REQUIRED.
 7. 1/8" CLEAR SOLAR GRADE POLYCARBONATE FACE 2ND SURFACE.
 8. BACKGROUND COLOR TO BE 403 WHITE BACK-SPRAY.
 9. 3M #3630-3132 DUNKIN' ORANGE TRANSLUCENT FILM 2ND SURFACE.
 10. 3M #3630-1379 DUNKIN' PINK TRANSLUCENT FILM 2ND SURFACE.
 11. 3M #7725-41 DUNKIN' GRAY TRANSLUCENT FILM 2ND SURFACE.

ADDITIONAL NOTES:
 • ARTWORK FONT: DUNKIN SANS DISPLAY
 • EXTERIOR FINISH: PAINT PANTONE 7540C
 • INTERIOR FINISH: PAINTED REFLECTIVE WHITE
 • RETAINERS / FACE REMOVABLE FOR SERVICE ACCESS
 • ELECTRICAL: (1) 20-AMP / 120 VOLT CIRCUIT
 • U.L. LISTED

6 DIRECTIONAL SIGN DETAILS
 SCALE: 3/8" = 1'-0"



ILLUMINATED DRIVE-THRU CANOPY SIGN

NOTES:
 1. PAINT TO MATCH ORANGE PMS 165C, GLOSS FINISH.
 2. PAINT TO MATCH PMS COOL GRAY 1C, GLOSS FINISH.
 3. BLACK VINYL, ARLON 2100-03, MIC BY OTHERS.
 4. BREAKAWAY SWIVEL TOP.
 5. OPTIONAL ADDITIONAL MENU BOARDS ATTACHMENTS.

ADDITIONAL NOTES:
 • ARTWORK FONT: DUNKIN SANS DISPLAY
 • 120 VOLT CIRCUIT, TO BE CONFIRMED BY SITE
 • CLEARANCE TO BE CONFIRMED BY SITE
 • TOP HAS TWO DOWN LIGHTS

NOTE:
 SEE DUNKIN' BRANDS WEBSITE, <http://extranet.dunkinbrands.com>, FOR COMPLETE INFORMATION AND DETAILS

3 DIGITAL "ALL IN ONE" CANOPY DETAIL
 SCALE: 1/2" = 1'-0"

CONCRETE NOTES

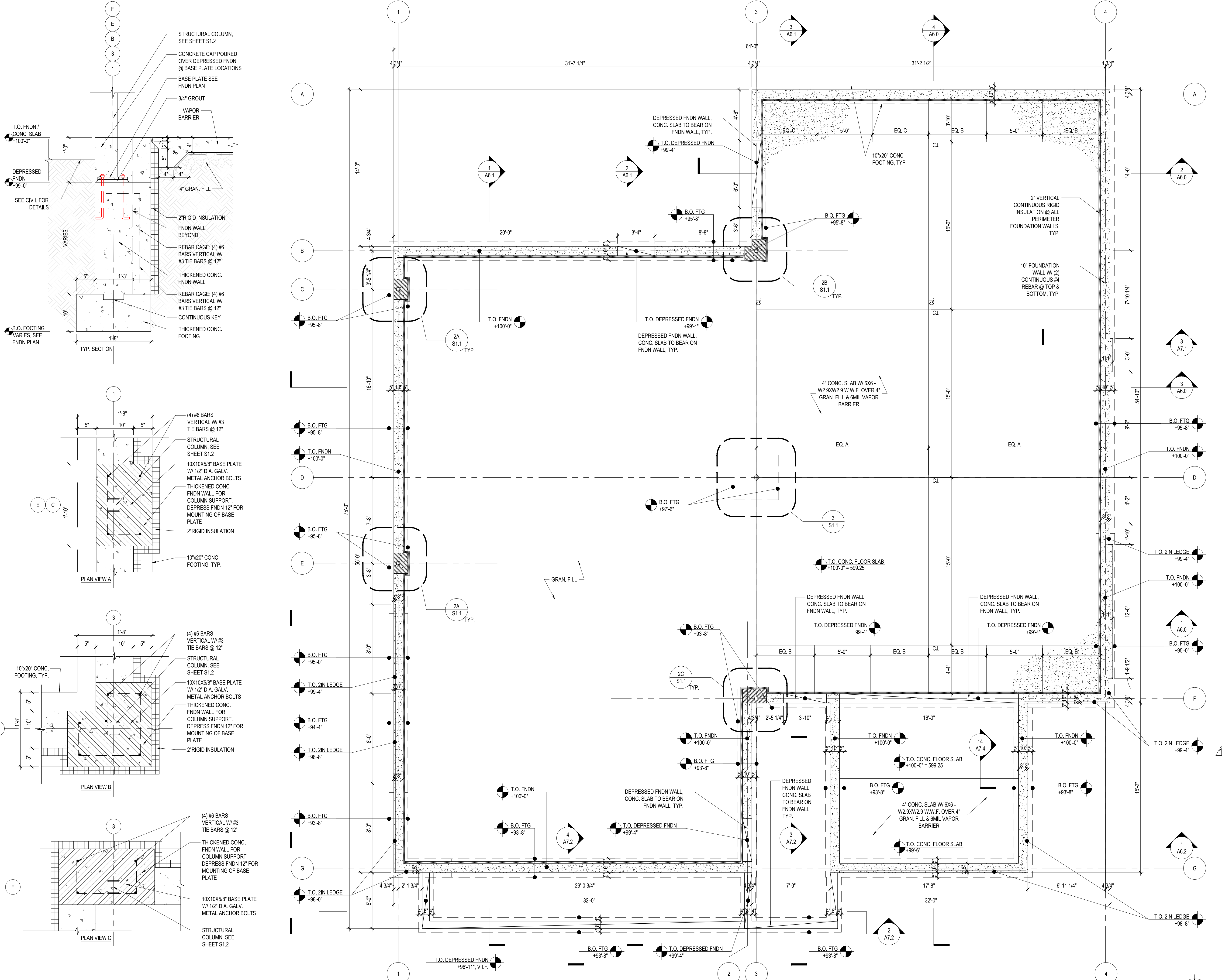
- CONCRETE**
- CONCRETE DETAILING PLACEMENT AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 318-05 AND ACI 301-05.
 - CONCRETE DETAILING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315.
 - CONCRETE IN THE FOLLOWING AREAS SHALL BE SAND AND NORMAL WEIGHT COARSE AGGREGATE (145 PCF MAX.) WITH THE SPECIFIED 28 DAY COMPRESSIVE STRENGTH:
 - FROST WALLS 3500 PSI
 - BASEMENT WALLS 3500 PSI
 - FOOTINGS 3500 PSI
 - SLAB-ON-GRADE 3500 PSI
 - CONCRETE REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60.
 - CONCRETE SLABS ON GRADE SHALL BE REINFORCED AS A MINIMUM WITH #6x-W2.9XW2.9 WELDED WIRE FABRIC UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. W.W.F. SHALL BE FURNISHED IN FLAT SHEETS ONLY. REINFRANT CORNERS OF SLABS WHETHER AT SLAB OPENINGS OR OTHER SLAB EDGES SHALL BE REINFORCED WITH ONE DIAGONALLY PLACED #4 X 4'-0" BAR CENTERED ON THE CORNER.
 - CONCRETE COVER PROTECTION FOR REINFORCEMENT SHALL BE IN ACCORDANCE WITH ACI 318-05 SECTION 7.7 OR 1.0 TIMES THE BAR DIAMETER, WHICHEVER IS GREATER, UNLESS NOTED OTHERWISE. CONCRETE COVER PROTECTION FOR ELEVATED FORMED STRUCTURAL SLABS SHALL BE 1 INCH MINIMUM.
 - UNLESS NOTED OTHERWISE "CONTINUOUS" REINFORCEMENT SHALL HAVE MINIMUM LAP OF CLASS "B" (ACI 318-08 SECTION 12.15.1) AT SPLICES AND SHALL HOOK AT DISCONTINUOUS ENDS. LAPS OF WELDED WIRE FABRIC SHALL BE A MINIMUM OF TWO WIRE MESHES PLUS 2 INCHES.
 - JOINTS IN WALLS WITH REINFORCING PASSING THROUGH THE MID-THICKNESS OF THE JOINT SHALL BE PREPARED BY ROUGHENING THE SURFACE OF THE CONCRETE TO A MINIMUM AMPLITUDE OF ONE QUARTER INCH IN AN APPROVED MANNER SO THAT THE AGGREGATE IS EXPOSED UNIFORMLY AND LEAVING NO RESIDUE PARTICLES OR DAMAGED CONCRETE. JOINTS WITHOUT REINFORCING PASSING THROUGH THE MID-THICKNESS SHALL BE CONSTRUCTED WITH A MINIMUM 2X4 KEYWAY.
 - VERTICAL CONTROL JOINTS IN WALLS SHALL BE LOCATED AT A MAXIMUM SPACING OF 20 FEET ON CENTER. CONTROL JOINTS SHALL BE LOCATED NO MORE THAN 10 FEET FROM ANY CORNER OR WALL INTERSECTION. JOINTS SHALL BE LOCATED AT ABRUPT CHANGES IN WALL HEIGHT AND AT ONE OR BOTH EDGES OF WALL OPENINGS. LOCATION OF CONTROL JOINTS SHALL BE SUBMITTED TO ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW AND COMMENT PRIOR TO CONSTRUCTION.
 - MAXIMUM SPACING FOR CONSTRUCTION OR CONTROL JOINTS IN THE SLAB-ON-GRADE SHALL BE 12 FEET IN EACH DIRECTION. JOINTS SHALL BE ARRANGED IN AS CLOSE TO ORTHOGONAL DIRECTIONS AS PRACTICAL. PATTERNS SHALL RESULT IN PANELS WHOSE RATIO OF SIDES IS NO GREATER THAN 1.5:1.0 - SEE ARCHITECTURAL DRAWINGS AND PROJECT SPECIFICATIONS FOR JOINT FILLERS AND SEALANTS. CONTRACTOR SHALL SUBMIT PROPOSED CONSTRUCTION AND CONTROL JOINT LAYOUT AND DETAILS FOR ARCHITECT'S REVIEW PRIOR TO CONSTRUCTION OF SLABS.
 - NO REINFORCING STEEL SHALL BE CUT OR WELDED WITHOUT PRIOR CONSENT OF THE STRUCTURAL ENGINEER.
 - REBAR CHAIRS SHALL BE PROVIDED FOR CONCRETE REINFORCEMENT. ADDITIONAL LONGITUDINAL SUPPORT BARS SHALL BE PROVIDED AS REQUIRED TO ASSURE PROPER SUPPORT FOR REINFORCING STEEL AND WELDED WIRE FABRIC.
 - CONCRETE SHALL ATTAIN 75% OF THE SPECIFIED 28-DAY COMPRESSIVE STRENGTH PRIOR TO REMOVING FORMS AND/OR LOADING. EXPANSION BOLTS AND ADHESIVE ANCHORS SHALL BE AS MANUFACTURED BY HILTI, INC. OR EQUIVALENT ACCEPTABLE TO STRUCTURAL ENGINEER.
 - SPECIAL CARE SHALL BE TAKEN DURING THE CONCRETE PLACEMENT OPERATIONS TO ENSURE FULL CONSOLIDATION OF CONCRETE AROUND DOWELS, DEFORMED BAR ANCHORS, HEADED CONCRETE ANCHORS AND ANCHOR BOLTS.
 - CONCRETE SHALL NOT BE CAST UNTIL REINFORCEMENT AND INSTALLATIONS HAVE BEEN INSPECTED AND APPROVED BY THE INDEPENDENT TESTING AGENCY. THE CONTRACTOR SHALL NOTIFY THE INDEPENDENT TESTING AGENCY AT LEAST 24 HOURS PRIOR TO CASTING CONCRETE TO ALLOW FOR NECESSARY INSPECTIONS.
 - GROUT SHALL BE NON-SHRINK AND SHALL CONFORM TO CORPS OF ENGINEERS SPECIFICATION CRD-C421. THE FOLLOWING GROUT MANUFACTURERS AND PRODUCTS ARE APPROVED FOR USE ON THE PROJECT: EUCLID, NS GROUT, BASF - MASTERFLOW 555, Sika - SIKAGROUT 212.
 - UNLESS NOTED OTHERWISE CONCRETE COLUMNS AND WALLS SHALL HAVE CHAMFERED CORNERS.
 - CONSTRUCT FORMWORK TO PROVIDE CONCRETE SURFACES CONFORMING TO TOLERANCES OF ACI 117.
 - SUBMIT TO STRUCTURAL ENGINEER TEST REPORTS FOR COMPLIANCE WITH:
 - A. PROPOSED CONCRETING MATERIALS.
 - B. CONCRETE MIXES FOR EACH CLASS AND TYPE OF CONCRETE TO BE USED IN WORK AND INDICATING WHERE EACH IS TO BE USED IN STRUCTURAL MEMBERS.
 - C. CONCRETE ENHANCED WITH HIGH-RANGE WATER-REDUCING ADMIXTURES, I.E. MANUFACTURER DATA ON ADMIXTURES, SLUMP RANGE AND SLUMP REVIEW PROCEDURES.
 - SUBMIT TO STRUCTURAL ENGINEER STEEL REINFORCEMENT SHOP DRAWINGS INDICATING DETAILS OF FABRICATION, BENDING, AND PLACEMENT NECESSARY FOR FABRICATION AND PLACEMENT OF REINFORCEMENT PREPARED IN ACCORDANCE WITH ACI 315. INCLUDE:
 - A. BAR SIZES, SPACING, LOCATIONS, ARRANGEMENT, QUANTITIES, MATERIALS AND GRADE OF REINFORCEMENT.
 - B. LOCATION OF SPLICES OF CONTINUOUS REINFORCEMENT AS INDICATED ON DRAWINGS.
 - C. BAR BENDING DETAILS, BAR SCHEDULES, AND SUPPORTS OF CONCRETE REINFORCEMENT.
 - D. LOCATION OF CONSTRUCTION JOINTS.
 - ADAPTURE PROTECTION SHALL BE PROVIDED. CONCRETE SHOULD NOT BE PLACED DURING RAIN, SLEET OR SNOW. RAIN WATER SHOULD NOT BE ALLOWED TO INCREASE MIXING WATER NOR TO DAMAGE SURFACE FINISH.
 - FLY ASH SHALL MEET THE REQUIREMENTS OF ASTM C618, CLASS C OR F. SUBSTITUTION FOR PORTLAND CEMENT SHALL NOT EXCEED 20 PERCENT OF WEIGHT OF CEMENTITIOUS MATERIAL, ON AT LEAST A POUND FOR POUND BASIS.
 - TIES AND HANGERS SHALL BE OF A COMMERCIAL MANUFACTURED TYPE. WIRE IS UNACCEPTABLE. WHEN CONCRETE IS EXPOSED TO VIEW, THE PORTION REMAINING WITHIN CONCRETE SHALL LEAVE NO METAL WITHIN ONE INCH OF SURFACE.
 - CURING COMPOUND SHALL CONFORM TO ASTM C309.
 - PRECAST CONCRETE BLOCK BAR SUPPORTS SHALL NOT BE LESS THAN 4 INCHES SQUARE AND SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH EQUAL TO OR EXCEEDING SPECIFIED 28-DAY COMPRESSIVE STRENGTH OF CONCRETE BEING PLACED.
 - PROVIDE CONCRETE WHICH WILL BE SUBJECT TO DESTRUCTIVE EXPOSURE, OTHER THAN NORMAL LOADING, SUCH AS FLOORING AND THINNING, OR DECORATIVE FINISHES, WITH ENTRAINED AIR OF 6 PERCENT BY VOLUME. SUCH CONCRETE SHALL INCLUDE SIDEWALKS, FROST WALLS, BASEMENT WALLS, STOOPS, WING WALLS, EXTERIOR STAIRS.
 - CONCRETE SLUMP DETERMINED BY ASTM C143 SHALL BE 4" PLUS OR MINUS ONE INCH.
 - COARSE AGGREGATE MAXIMUM SIZE SHALL PASS A 3/4" INCH SIEVE BUT NOT A 1/2" INCH SIEVE.
 - ADMIXTURES CONTAINING EITHER CALCIUM CHLORIDE OR WATER-SOLUBLE CHLORIDE IONS EXCEEDING 0.05 PERCENT BY WEIGHT OF CEMENT SHALL NOT BE USED.
 - CONCRETE PLACEMENT WHEN AMBIENT AIR TEMPERATURES ARE EXPECTED BELOW 50 DEGREES F, SHALL MEET RECOMMENDATIONS OF ACI 308R-99 FOR COLD WEATHER AND WHEN AMBIENT AIR TEMPERATURES ARE EXPECTED ABOVE 90 DEGREES F, SHALL MEET RECOMMENDATIONS OF ACI 305R-99 FOR HOT WEATHER CONCRETE PLACEMENT. CONTRACTOR SHALL SUBMIT PROPOSED PROCEDURES FOR COMPLYING WITH THESE DOCUMENTS TO STRUCTURAL ENGINEER 5 BUSINESS DAYS PRIOR TO CASTING CONCRETE DURING THESE CONDITIONS.
 - FLOOR SURFACE TOLERANCES SHALL BE EVALUATED IN ACCORDANCE WITH ASTM E1155.
 - A. FLATNESS FF = 25 OVERALL, FF = 13 MINIMUM LOCAL VALUE
 - B. LEVELNESS FL = 20 OVERALL, FL = 10 MINIMUM LOCAL VALUE
 - C. FL APPLIES ONLY TO SLAB-ON-GRADE AND SLABS SHORED AT THE TIME OF TESTING.
 - PLACE REINFORCEMENT MEETING THE RECOMMENDATIONS OF CRSI RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS.
 - AFTER FORMS HAVE BEEN STRIPPED, CONCRETE WHICH IS NOT FORMED AS REQUIRED, WHICH IS OUT OF ALIGNMENT OR LEVEL BEYOND SPECIFIED TOLERANCES, OR WHICH SHOWS DEFECTIVE SURFACE THAT CANNOT BE PROPERLY REPAIRED OR PATCHED SHALL BE REMOVED. SUBMIT TO STRUCTURAL ENGINEER, IN WRITING, REMEDIAL PROCEDURES FOR REVIEW PRIOR TO BEGINNING WORK. HONEYCOMBED, SPALLED OR OTHERWISE DAMAGED CONCRETE SHALL BE REPAIRED AND PATCHED.
 - NOTIFY STRUCTURAL ENGINEER OF DEFECTS AND SUBMIT REMEDIAL PROCEDURES IN WRITING FOR REVIEW PRIOR TO BEGINNING WORK.

FOUNDATION NOTES

- FOUNDATION**
- THE OWNER'S GEOTECHNICAL TESTING AGENCY SHALL INSPECT AND PERFORM ANY TEST REQUIRED TO VERIFY THE ACTUAL NET ALLOWABLE SOIL BEARING PRESSURE AT FOUNDATION BEARING LOCATIONS. THE GEOTECHNICAL TESTING AGENCY SHALL NOTIFY THE STRUCTURAL ENGINEER OF ANY LOCATION WHERE THE ACTUAL BEARING PRESSURE IS LESS THAN THE SPECIFIED VALUE (OR WHERE ANY FOUNDATION ELEVATION MUST BE MODIFIED TO BEAR ON APPROPRIATE MATERIAL). CONSTRUCTION OF THE FOUNDATION SYSTEM SHALL NOT PROCEED AT ANY SUCH LOCATION UNTIL THE APPROPRIATE REMEDIAL ACTION AS PREPARED BY THE STRUCTURAL ENGINEER AND/OR THE GEOTECHNICAL ENGINEER HAS BEEN SUBMITTED TO CONTRACTOR.
 - EXISTING FILL AND ORGANIC MATERIAL SHALL BE REMOVED. THE GEOTECHNICAL TESTING AGENCY SHALL ESTABLISH THE EXTENT OF REMOVAL OF UNSUITABLE MATERIALS.
 - THE SLAB-ON-GRADE SHALL BE PLACED ON A MOISTURE VAPOR BARRIER OVER A MINIMUM THICKNESS OF 6" OF FILL CONFORMING TO INDOT COARSE GRADED #5 PLACED IN LIFTS NOT EXCEEDING 9" IN LOOSE THICKNESS AND COMPACTED TO A MINIMUM 90% OF OPTIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST ASTM D-1557.
 - THE GEOTECHNICAL TESTING AGENCY SHALL INSPECT EXCAVATION, FILL, AND BACKFILL OPERATIONS. THE GEOTECHNICAL TESTING AGENCY SHALL PERFORM APPROPRIATE COMPACTION TESTS DURING FILL AND BACKFILL OPERATIONS FOR COMPLIANCE WITH THE PROJECT SPECIFICATIONS.
 - PROPER MOISTURE CONTROL IS ESSENTIAL TO REDUCE THE AMOUNT OF EFFORT IN COMPACTION NECESSARY TO ACHIEVE THE DESIRED DENSITIES. THIS IS ESPECIALLY TRUE OF COHESIVE SOILS. THE RECOMMENDATIONS ON COMPACTION OF THE GEOTECHNICAL ENGINEER SHALL BE FOLLOWED.
 - THE SOIL TYPES AT THIS SITE CAN BE EASILY DISTURBED BY CONSTRUCTION EQUIPMENT. IT IS THE EARTHWORK CONTRACTOR'S RESPONSIBILITY TO CHOOSE EQUIPMENT AND WORK PROCEDURES WHICH WILL NOT DISTURB THE SUBGRADE SOILS. THE CONTRACTOR SHOULD ROUTE CONSTRUCTION TRAFFIC AWAY FROM AREAS OF FOUNDATIONS AND SLABS TO AVOID SOIL DISTURBANCE. THE RESPONSIBILITY TO PROPERLY SELECT CONSTRUCTION EQUIPMENT TO AVOID DISTURBING SOILS ON THE SITE LIES WITH THE CONTRACTOR.
 - SPECIAL PRECAUTIONS MUST BE FOLLOWED BY CONTRACTOR DURING COLD WEATHER CONSTRUCTION. ONLY UNFROZEN BACKFILL SHALL BE USED. SILTY CLAY SOILS SHALL NOT BE USED FOR BACKFILL. PLACEMENT OF FILL SHALL NOT BE PERMITTED ON FROZEN SOIL.
 - SUBGRADE SHALL BE PROTECTED AGAINST FROST OR FREEZING DURING CONSTRUCTION OF FOUNDATION SYSTEM AND UNTIL THE THREAT OF FREEZING OF THE SUBGRADE DOES NOT EXIST.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY REQUIRED DEWATERING OF THE SITE.
 - THE PROVISION OF TEMPORARY EARTH RETENTION SYSTEMS TO SUPPORT STRUCTURES, STREETS, ETC. SHALL BE THE RESPONSIBILITY OF CONTRACTOR. DESIGN AND CONSTRUCTION OF THE RETENTION SYSTEM SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF FOUNDATION DIMENSIONS AND ALIGNMENT PRIOR TO FOUNDATION CONSTRUCTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING UTILITIES AND STRUCTURES.
 - REINFORCING STEEL AND CONCRETE SHALL BE PLACED AS SOON AS POSSIBLE AFTER EXCAVATION FOR THE FOUNDATION SYSTEM.
 - REINFORCING STEEL SHALL BE THOROUGHLY CLEANED IMMEDIATELY PRIOR TO PLACING CONCRETE.
 - NO CONCRETE SHALL BE CAST ON OR AGAINST SUBGRADE MATERIAL CONTAINING FROST, WATER OR SNOW.
 - SUBGRADE WALLS THAT ARE ATTACHED TO FLOOR FRAMING OR SLAB AT THE TOP OF THE WALL AND WHICH RETAIN EARTH ON ONE SIDE HAVE BEEN DESIGNED AS "BRACED" WALLS. SLAB-ON-GRADE HAS BEEN DETAILED AND WALLS DESIGNED SUCH THAT SLAB-ON-GRADE BRACES THE BOTTOM OF BASEMENT WALLS AND THE TOP OF PIT WALLS. TEMPORARY BRACING OF THE WALLS SHALL BE PROVIDED UNTIL THE STRUCTURAL ATTACHMENT AT THE TOP AND BOTTOM HAS BEEN COMPLETED AND OBTAINED 75% OF THE SPECIFIED 28-DAY COMPRESSIVE STRENGTH SPECIFIED FOR THE BRACING ELEMENTS. WALLS SHALL NOT BE BACKFILLED UNTIL OBTAINING THE 28-DAY COMPRESSIVE STRENGTH SPECIFIED FOR THE WALLS.
 - CANTILEVERED RETAINING WALLS WHICH RETAIN EARTH ON ONE SIDE AND HAVE WIDE FOOTINGS TO COMPENSATE FOR THE OVERTURNING FORCES OF RETENTION SHALL NOT BE BACKFILLED UNTIL OBTAINING THE 28-DAY COMPRESSIVE STRENGTH SPECIFIED FOR THE WALLS.
 - FOUNDATIONS THAT SUPPORT THE SUPERSTRUCTURE AND THAT ARE MECHANICALLY ATTACHED TO SLAB-ON-GRADE AT THE TOP OF THE FOUNDATION SUCH AS VIA REINFORCING BARS HAVE BEEN DESIGNED AT "BRACED" WALLS. TEMPORARY BRACING OF THE FOUNDATIONS SHALL BE PROVIDED DURING ERECTION OF THE SUPERSTRUCTURE UNTIL THE STRUCTURAL ATTACHMENT AT THE TOP HAS BEEN COMPLETED AND OBTAINED 75% OF THE SPECIFIED 28-DAY COMPRESSIVE STRENGTH SPECIFIED FOR THE BRACING ELEMENTS.
 - GRADE BEAMS AND WALLS THAT RETAIN EARTH ON BOTH SIDERS SHALL BE BACKFILLED ON BOTH SIDERS SIMULTANEOUSLY. CONSTRUCTION JOINTS SHALL BE WATER TIGHT.
 - ALL CONCRETE WORK BELOW GRADE SHALL BE DETAILED AS WATERTIGHT CONSTRUCTION. ALL SUBGRADE CONSTRUCTION JOINTS SHALL BE WATERTIGHT.
 - FOUNDATION HEIGHTS AS LISTED ON THE FOUNDATION PLAN RELATE TO ELEVATIONS MARKING SUCH THAT T.O.F. OF 0'-0" = 0'-0" A.F.F.

STEEL NOTES

- STRUCTURAL STEEL**
- STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC LOAD AND RESISTANCE FACTOR DESIGN SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS, AND THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
 - ROLLED STEEL SHAPES TO BE GRADE A992. STRUCTURAL STEEL SHAPES AND PLATES SHALL CONFORM TO ASTM A992. UNLESS NOTED OTHERWISE, HOT FORMED STEEL TUBING SHALL CONFORM TO ASTM A501. COLD FORMED STEEL TUBING SHALL CONFORM TO ASTM A500. GRADE B. STRUCTURAL STEEL PIPE SHALL CONFORM TO ASTM A53, GRADE B. ANCHOR BOLTS SHALL BE ASTM A307, 1/2" DIAMETER, 12" LONG. UNLESS NOTED OTHERWISE.
 - BOLTS, NUTS AND WASHERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A325.
 - WELDING SHALL CONFORM TO AWS D1.1 "STRUCTURAL WELDING CODE, LATEST EDITION. ALL WELDING ELECTRODES SHALL BE E70XX.
 - THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT.



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dunkin'
brands

kolbrook design

ARCHITECT
 CIVIL ENGINEER
 STOCK & ASSOCIATES CONSULTING ENGINEERING
 STRUCTURAL ENGINEER
 LANDSCAPE ARCHITECT
 PAMELA SELF LANDSCAPE ARCHITECTS
 MEP ENGINEER
 NEW YORK ENGINEERS
 DEVELOPER

STATE OF MISSOURI
 STEVEN A. KOLBER
 NUMBER A-201408561
 ARCHITECT
 EXP. 12/31/2020

DD TWIN OAKS, MO

PROJECT: DD TWIN OAKS, MO
 1410 BIG BEND ROAD
 TWIN OAKS, MO 63086
 PC # 353904

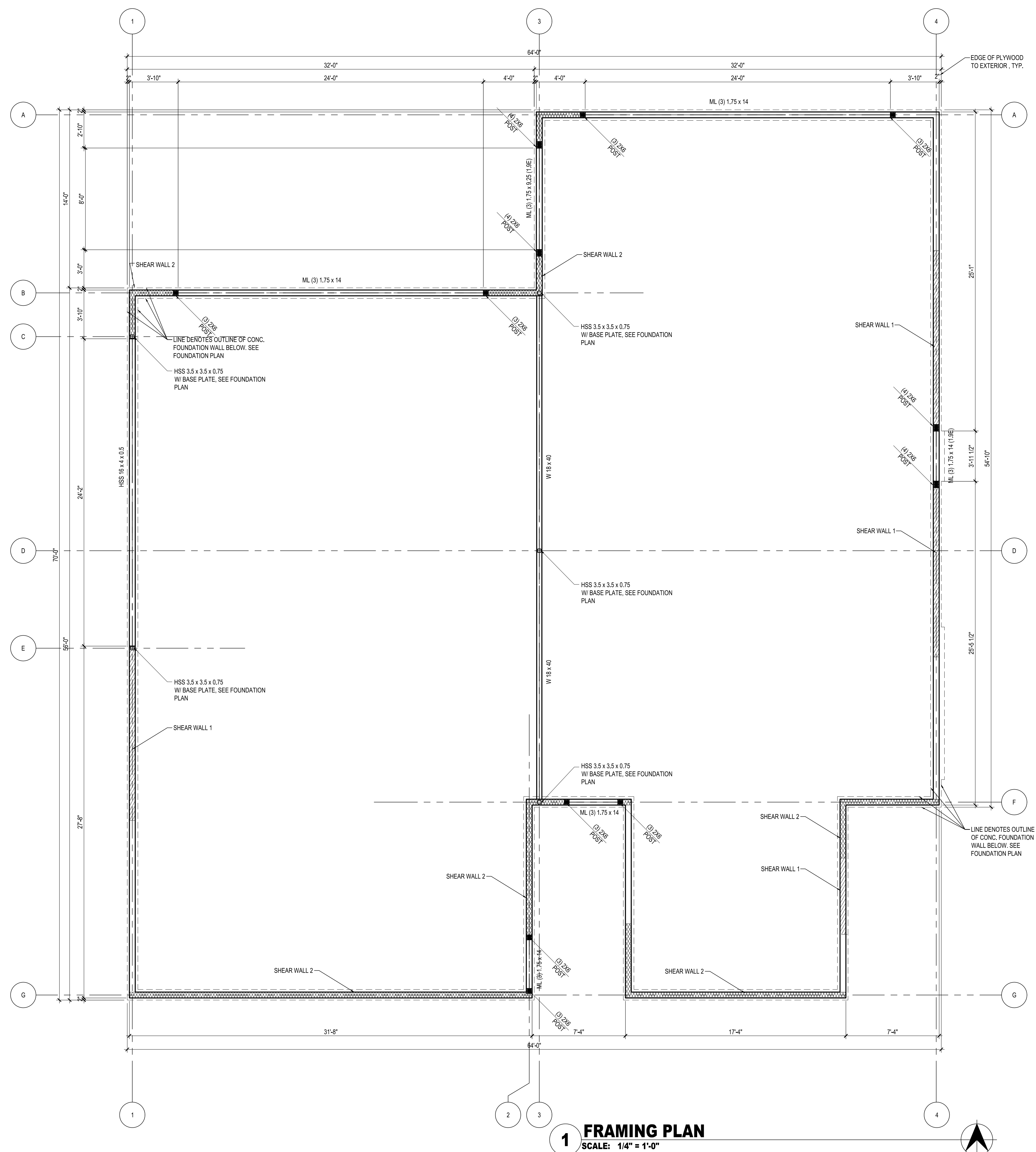
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1	PER COMMENTS	06/07/2020

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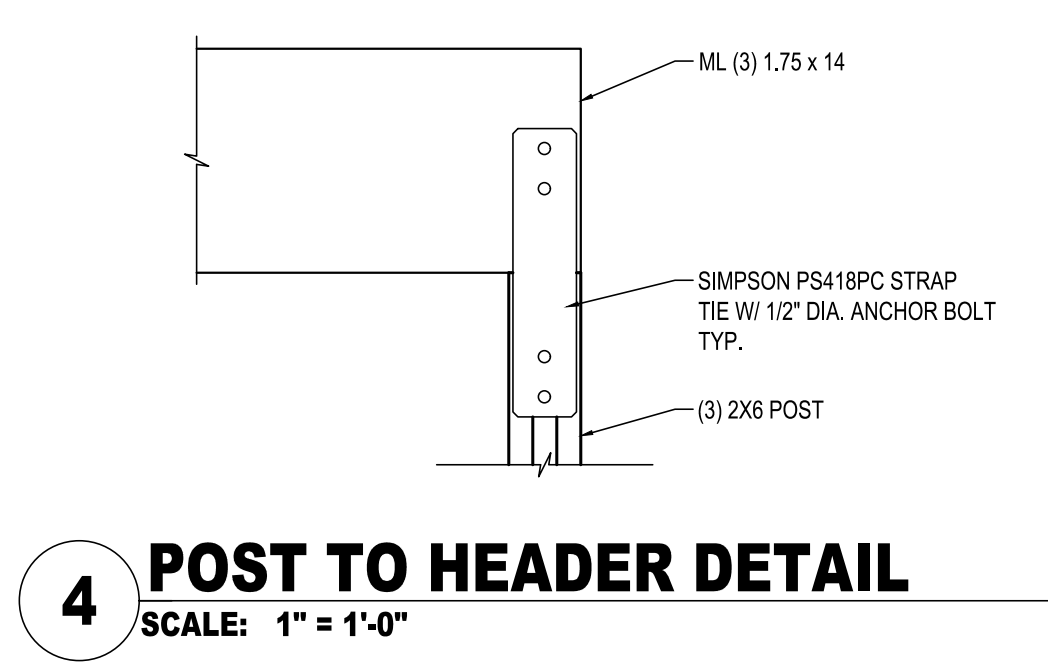
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Kolbrook Job No. 1640.002 Consultant Job No. _____

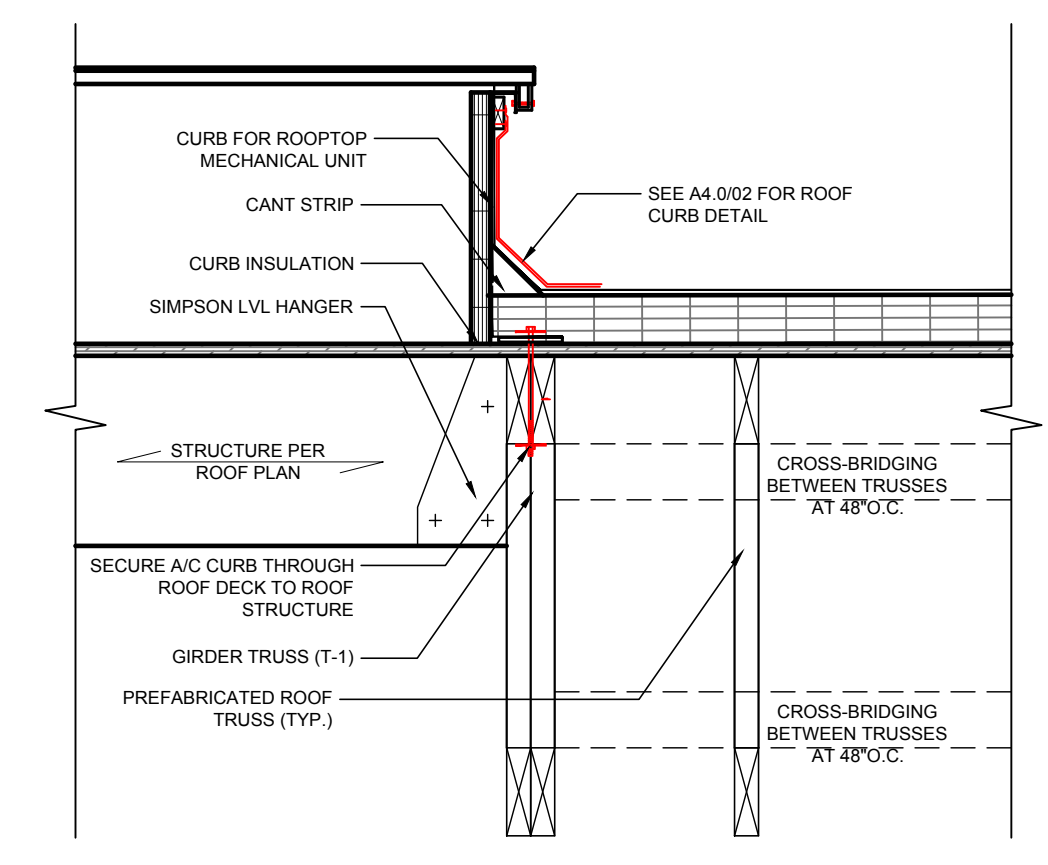
DESCRIPTION	DATE
PER COMMENTS	08/07/2020



1 FRAMING PLAN
 SCALE: 1/4" = 1'-0"



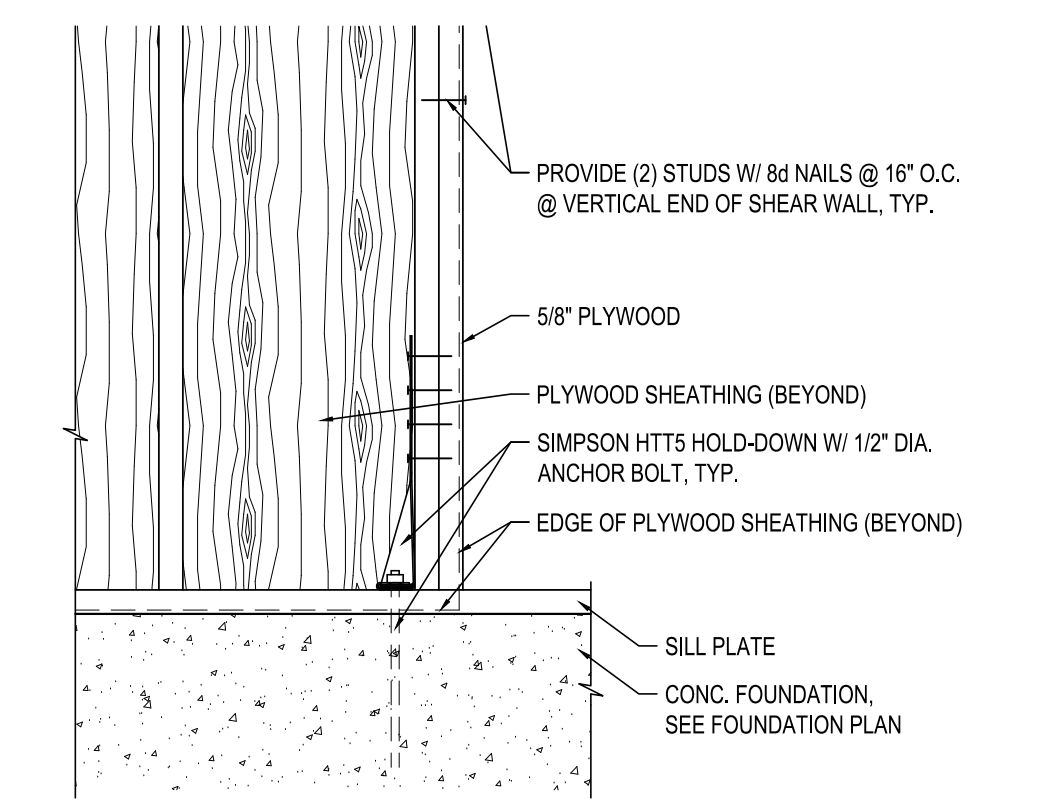
4 POST TO HEADER DETAIL
 SCALE: 1" = 1'-0"



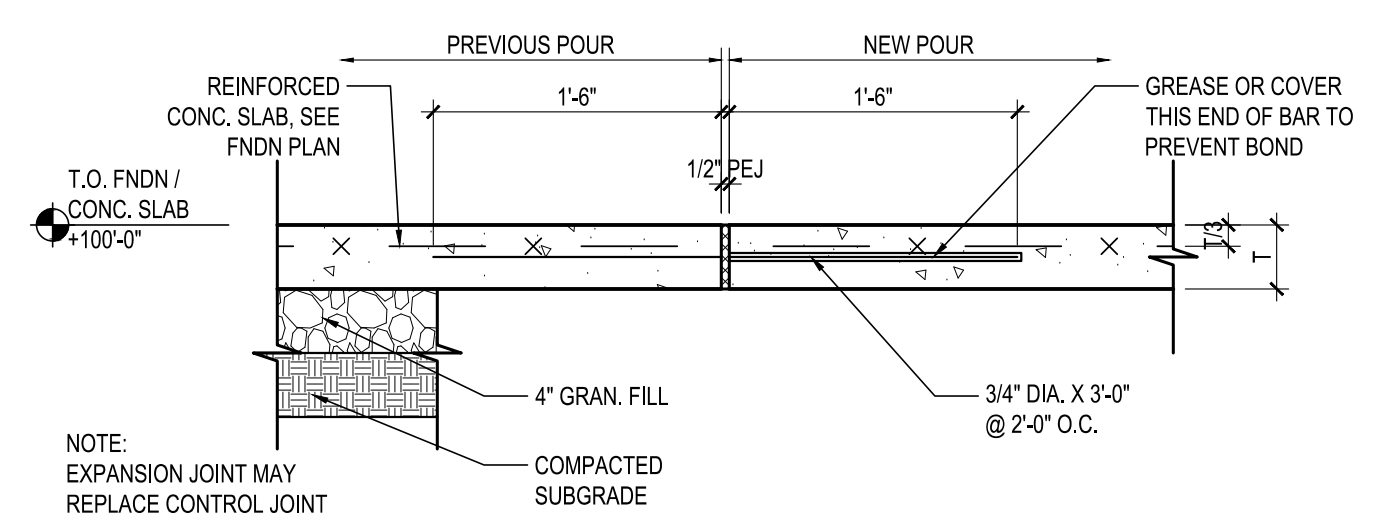
3 ROOF CURB TO TRUSS DETAIL
 SCALE: 1" = 1'-0"

SHEAR WALL SCHEDULE

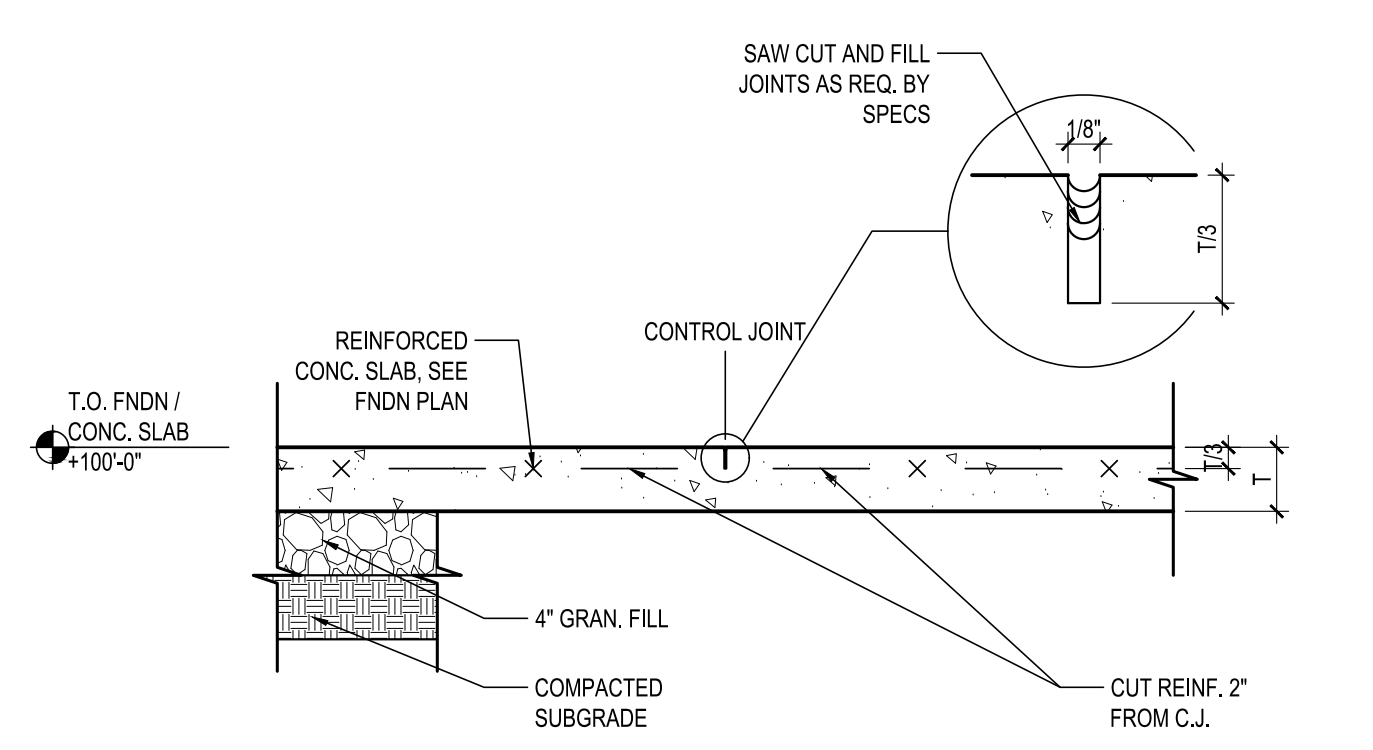
#	HATCH	DESCRIPTION
SHEAR WALL 1	[Hatch]	84 NAILS @ 6" O.C. @ EDGES & 6" O.C. @ REST OF FIELD OF PLYWOOD
SHEAR WALL 2	[Hatch]	84 NAILS @ 3" O.C. @ EDGES & 6" O.C. @ REST OF FIELD OF PLYWOOD



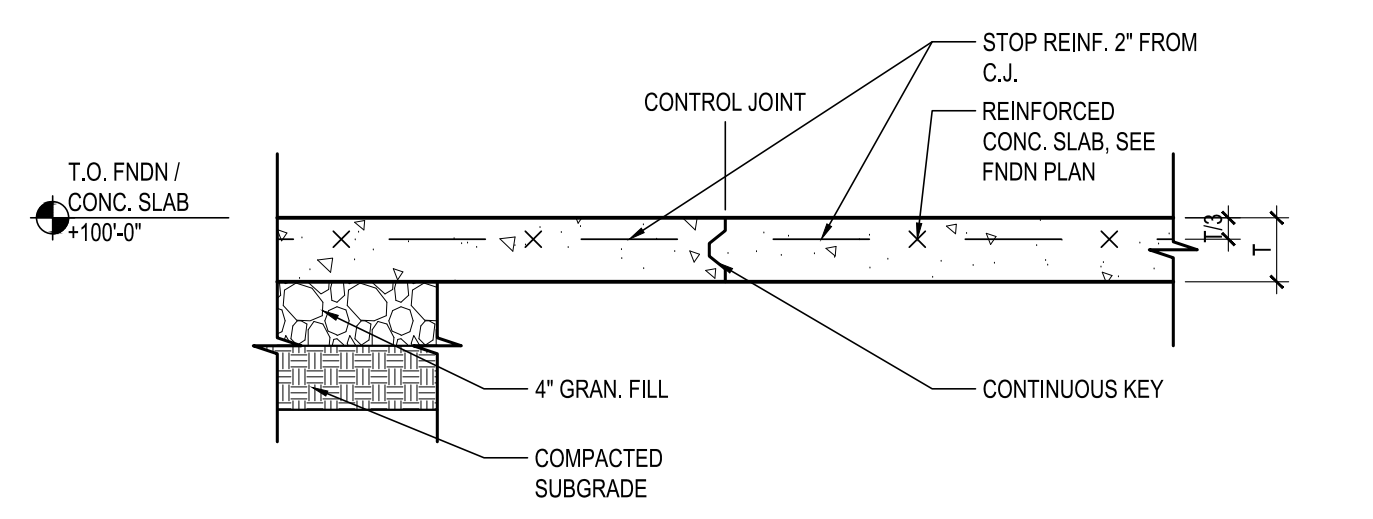
2 SHEAR WALL BASE DETAIL
 SCALE: 1" = 1'-0"



7 TYP. SLAB ON GRADE EXPANSION JOINT DETAIL
 SCALE: 1" = 1'-0"



6 TYP. SLAB ON GRADE CONTROL JOINT DETAIL
 SCALE: 1" = 1'-0"



5 TYP. SLAB ON GRADE CONSTRUCTION JOINT DETAIL
 SCALE: 1" = 1'-0"

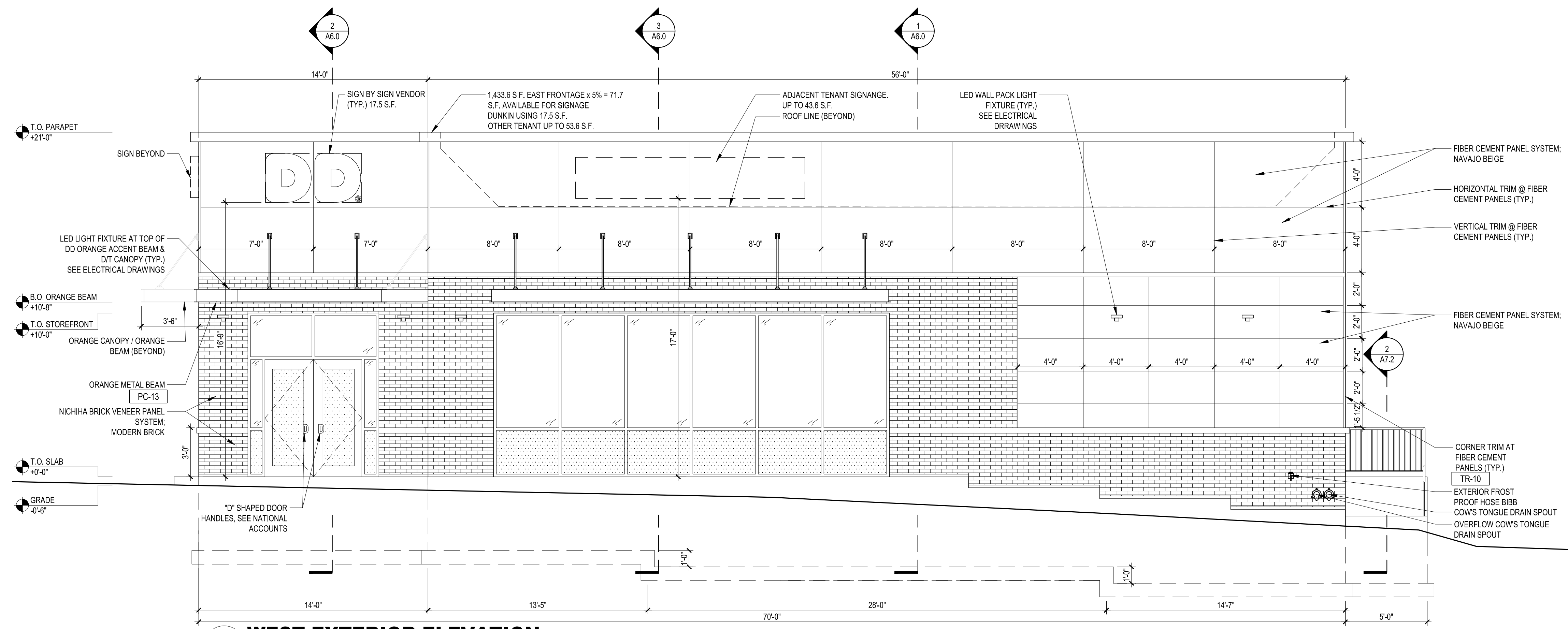
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DESCRIPTION	DATE
PER COMMENTS	08/07/2020

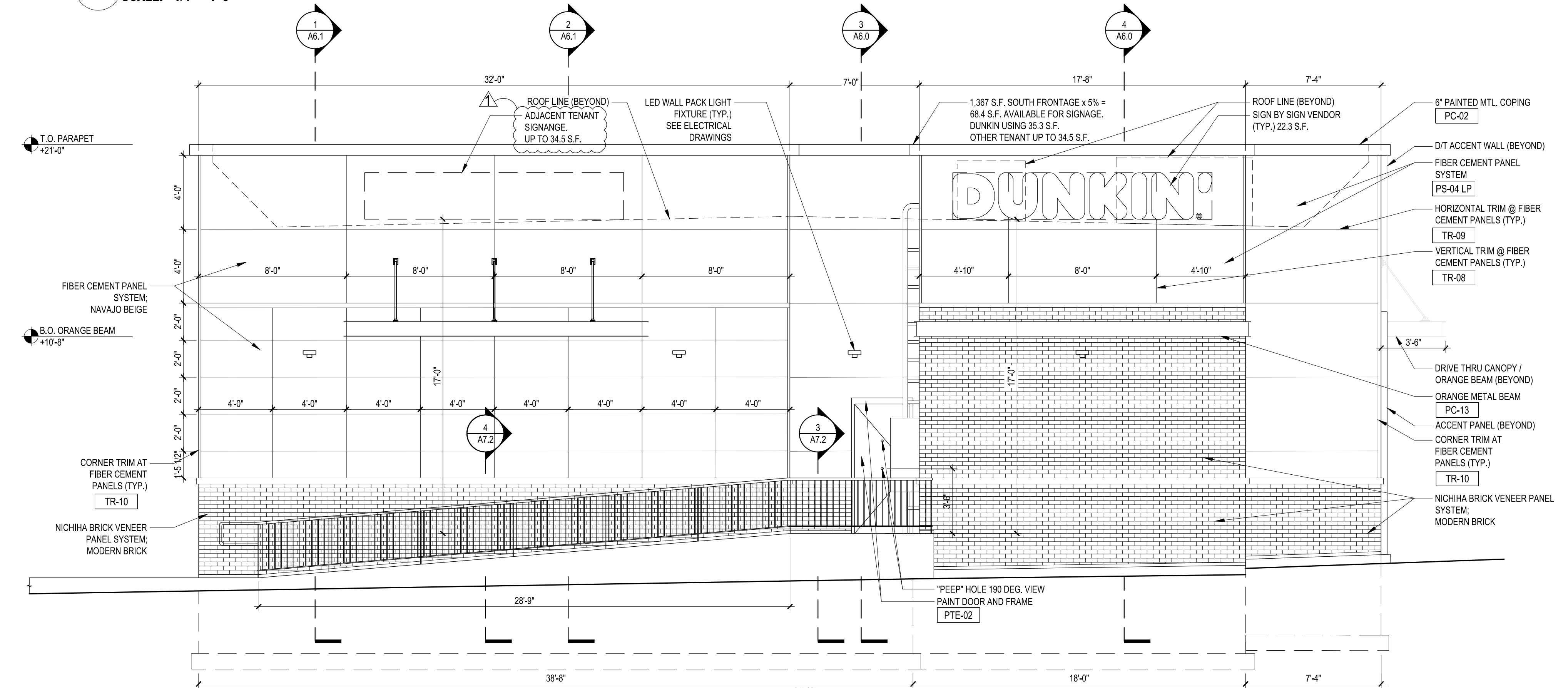
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CHECKED BY: SWB
SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NO.
A5.1
Kolbrook Job No. 1540.002 Consultant Job No.



2 WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

RESTROOM EQUIPMENT SCHEDULE				
CODE	ITEM	MANUFACTURER & PRODUCT #	MOUNTING HEIGHT	REMARKS
1	GRAB BARS	ASI 3701-18P (18"), -36P (36") & -42P (42")	36" MAX. A.F.F.	NOTE C
2	SWING-UP GRAB BAR	BOBRICK #B-4998.99	SEE INSTALLATION INSTRUCTIONS	NOTE C, INSTALL WHEN REQUIRED
3	TOILET PAPER HOLDER	KC PROFESSIONAL 09551	20" BOT OF UNIT, SURFACE MOUNTED	
4	COAT HOOK	ASI 0751	48" A.F.F., MOUNTED ON DOOR	
5	SOAP DISPENSER	DERMAFOAM E - KAY CHEMICAL COMPANY		NOTE A, C
6	AUTOMATIC HAND DRYER	"WORLD VERDIR" Q974-A - WHITE OR Q973-A - STAINLESS OR "EXCEL" XLERATOR THIN AIR TA-SIWG - WHITE OR TA-SIWG - STAINLESS		NOTE A, C & E
7	HAND DRYER WALL GUARD	WORLD		NOTE F
8	MIRROR (18"x30")	ASI 0820-2436	40" A.F.F. TO BOTTOM	NOTE C
9	TRASH RECEPTACLE	ASI 0458	41"-45" A.F.F. TO OPENING FOR ADA	
10	BABY CHANGING STATION	ASI 9012 HORIZONTAL OR ASI 9015 VERTICAL	27" TO BOTTOM OF UNIT	NOTE C
11	SANITARY NAPKIN DISPOSAL	ASI 0852	24" TO TOP OF UNIT	WOMEN'S RESTROOM ONLY
12	SEAT COVER DISPENSER (OPTIONAL)	ASI 0477 SM		(OPTIONAL)
13	WALL SHELF	ASI 0892-516 (5"x16")	42" A.F.F. FOR ADA; NOTE C	(OPTIONAL)

NOTES

NOTE A: OPERATING CONTROLS OF ALL HAND DRYERS, SOAP DISPENSERS AND MULTI PURPOSE UNITS TO BE 42" A.F.F.

NOTE B: G.C. TO FIELD VERIFY ALL SIZES

NOTE C: PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES AND ACCESSORIES

NOTE D: TOILET TISSUE & PAPER TOWEL DISPENSERS SUPPLIED FREE FROM LOCAL DCP; INSTALLED BY G.C.

NOTE E: HAND DRYER TO BE ORDERED FROM NATIONAL ACCOUNT SUPPLIER AND IS REQUIRED TO HAVE STANDARD DBI GREEN MESSAGING/BRANDING.

NOTE F: AVAILABLE WITH HAND DRYER, CAN BE PURCHASED SEPARATELY (FOR REMODELS).

RESTROOM EQUIPMENT LIST		
ALTERNATE HANDS-FREE TOILET EQUIPMENT IS AVAILABLE FOR OPTIONAL USE IN RESTROOMS		
WALL MOUNTED LAVATORY: "LUCERNE" BY AMERICAN STANDARD #0355.012		
AUTOMATIC FAUCET (STANDARD): SLOAN #ETP-600-B-BOT, W/ TRANSFORMER #EL-154 AND 0.5 GPM AERATOR #ETEF-1024-A		
TANK TOILET (STANDARD): AMERICAN STANDARD CADET PRO RIGHTEIGHT ELONGATED 1.28 GPF #215AA.104 (LEFT TRIP) #215AA.105 (RIGHT TRIP)		
PRESSURE-ASSIST OPTION: AMERICAN STANDARD CADET FLOWISE WIGHTHEIGHT ELONGATED, PRESSURE ASSIST 1.1 GPF #2467.00 (LEFT TRIP) #2467.XXX (SPECIFY RIGHT TRIP)		
TANKLESS TOILET (OPTIONAL): AMERICAN STANDARD MADERA FLOWISE ELONGATED, 1.28 GPF #3043.001		
MANUAL FLUSH (STANDARD): SLOAN REGAL 111 1.1 1.28 (3780046) FLUSHOMETER		
AUTOMATIC FLUSH (OPTIONAL): SLOAN 8111-1.28 (3790071) EXPOSED, BATTERY POWERED, SENSOR ACTIVATED DUAL FLUSH FLUSHOMETER		
URINAL: AMERICAN STANDARD WASHBROOK FLOWISE 0.5 GPF HIGH EFFICIENCY URINAL #6590.001		
MANUAL FLUSH (STANDARD): SLOAN 186-0.5 (3782655) REGAL 186-1		
AUTOMATIC FLUSH (OPTIONAL): SLOAN 8186-0.5 (3790089) TOUCHFREE OPERATION, METAL COVER, OVERRIDE BUTTON & FLUSHO METER BODY LESS HANDLE OPENNER		
WATERLESS URINAL (OPTIONAL - DD ELITE): SLOAN WATERFREE URINAL WITH SLOANTEC GLAZE WES-4000-STG (1074000)		
1. LOW FLOW PLUMBING FIXTURES MUST MEET FLOW/FLOW FIXTURE VOLUMES STANDARDS OF 1.28 GPF TOILETS, 0.5 GPF URINALS, 0.5 GPM HAND WASH FAUCETS, AND 2.2 GPM POT SINK FAUCET (BY OTHERS) WITH 1.24 GPM SPRAY HEAD (BY OTHERS)		
2. G.C. TO PROVIDE PRICING FOR STANDARD EQUIPMENT UNLESS DIRECTED OTHERWISE BY FRANCHISEE.		
VENDOR CONTACT INFO FOR RESTROOM FIXTURES AND ACCESSORIES	RESTROOM REMODELS 15 HAMMATT ST. - PO BOX 34 IPSWICH, MA 01938 PHONE: 917-500-2554 FAX: 917-945-0350 WWW.RESTROOMREMODELS.COM SALES@RESTROOMREMODELS.COM	NEWTON DISTRIBUTORS VENDOR CONTACT: PEDRO GRULLON P: 877-837-7745 E: PEDRO@NEWTONDISTRIBUTING.COM WWW.NEWTONDISTRIBUTING.COM

KITCHEN AND STORE ACCESSORIES	
A.	2 SOAP DISPENSERS - PROCTOR AND GAMBLE COMPANY - SEE NATIONAL ACCOUNT SOURCE INFO ON EXTRANET.
B.	CHEMICAL DISPENSER - PROCTOR AND GAMBLE COMPANY - SEE NATIONAL ACCOUNT SOURCE INFO ON EXTRANET.
C.	7 SHELF STANDARDS - KNAPE & VOGT, 87 ANO-24 IN
D.	14 SHELF BRACKETS - KNAPE & VOGT, 187LL ANO-12 IN
E.	14 SHELF CLIPS - KNAPE AND VOGT, 214 BLK
F.	PAPER TOWEL HOLDER - AMERICAN SPECIALTIES, INC., 0245SS

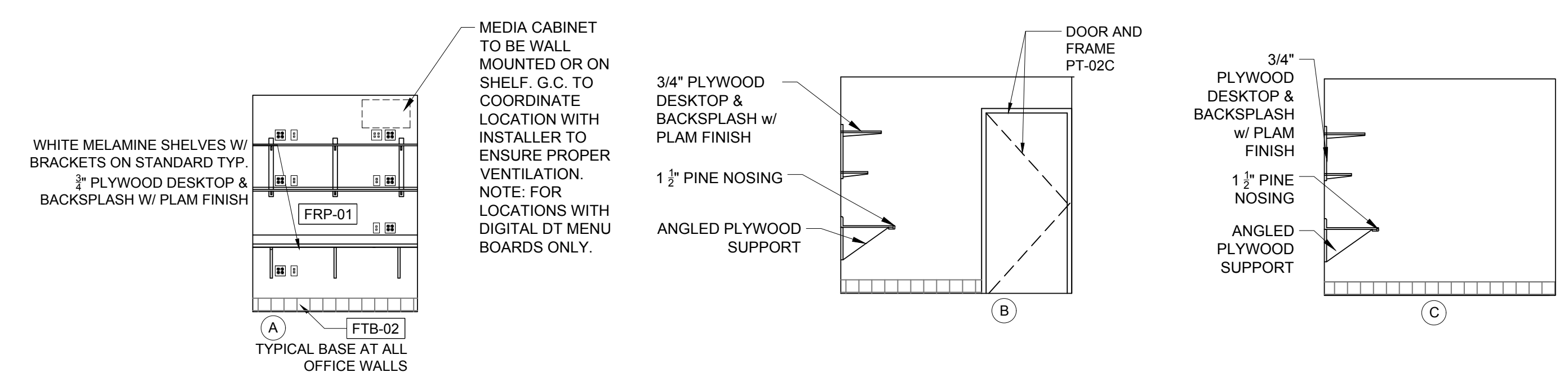
ADA NOTES

THE GENERAL CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE BARRIER FREE REQUIREMENTS FOR THE APPLICABLE STATES AND THE AMERICAN DISABILITIES ACT (ADA) AND SHALL ENSURE THAT THIS FACILITY WILL BE ACCESSIBLE ACCORDING TO THE STRICTER REQUIREMENTS OF THE APPLICABLE STANDARDS. THE FOLLOWING IS A PARTIAL LIST OF REQUIREMENTS.

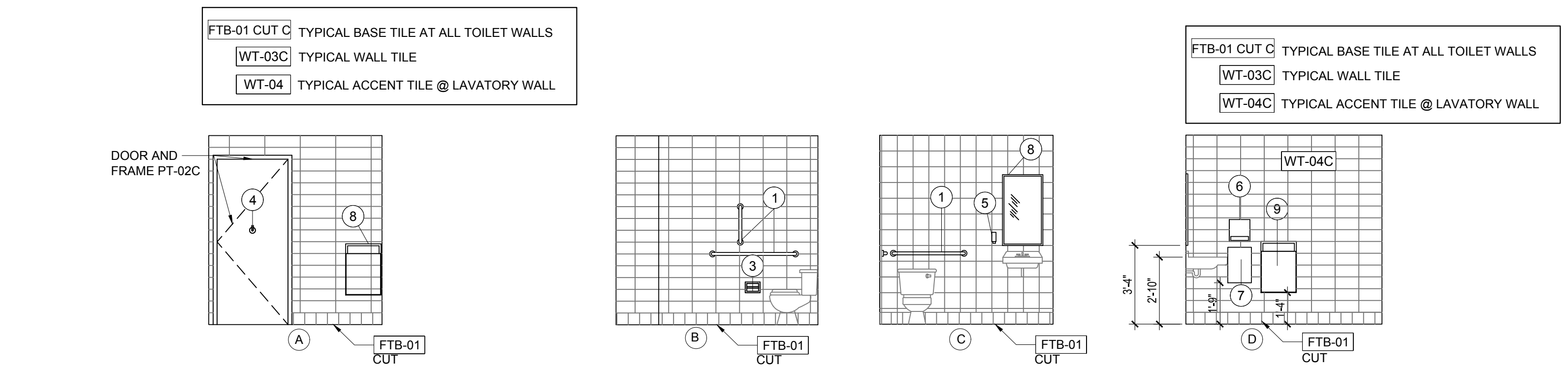
A. DOOR HARDWARE SHALL BE MOUNTED BETWEEN 36" AND 42" ABOVE FLOOR AND BE LEVER TYPE.

B. TOILETS:

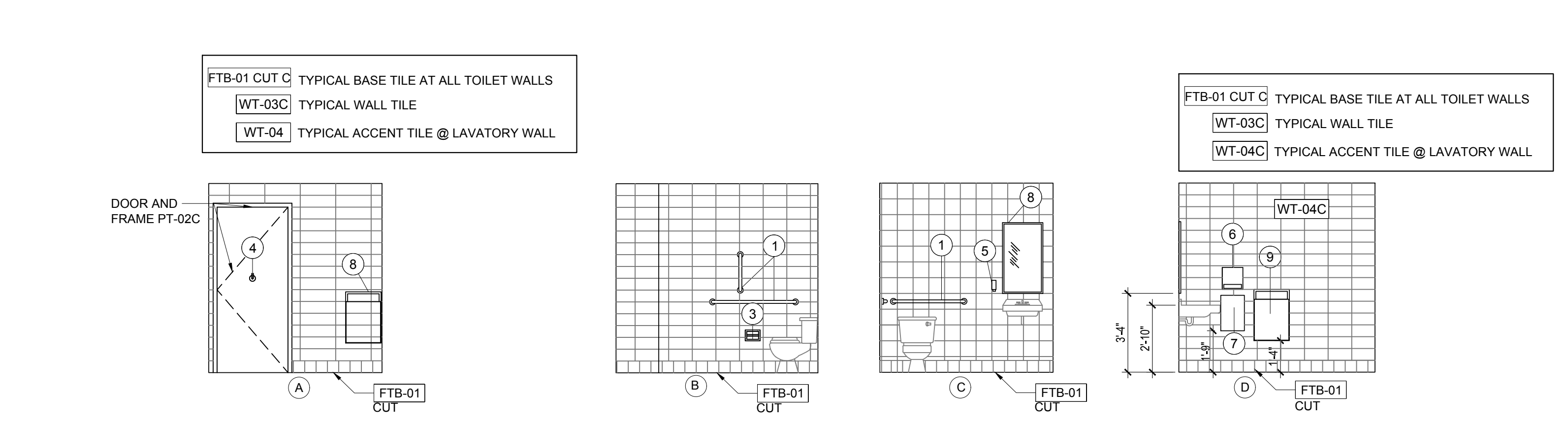
- LAVATORY TO HAVE LEVER HANDLES, SELF METERING FAUCETS OR SPRING FAUCET. FAUCETS SHALL BE SET TO REMAIN OPEN FOR 10 SECONDS MINIMUM.
- A COAT HOOK 48" ABOVE THE FLOOR SHALL BE MOUNTED ADJACENT TO THE BARRIER FREE STALL DOOR.
- LOCATE THE WATER CLOSET 16" TO 18" FROM THE CENTER LINE OF THE FIXTURE TO THE WALL. THE SEAT WILL BE 17" TO 19" ABOVE THE FLOOR TO THE TOP OF SEAT. FLUSH HANDLE TO BE ON EXPOSED SIDE OF WATER CLOSET.
- PROVIDE ONE 42" AND ONE 36" LONG x 1 1/2" OUTSIDE DIAMETER PEENED GRAB BARS, 1 1/2" FROM THE WALL WITH ONE BEHIND AT 12" FROM CENTER LINE OF WATER CLOSET ON ONE SIDE. ONE ADJACENT TO AT 12" FROM THE WALL 33"-36" PARALLEL TO AND ABOVE THE FLOOR.
- LAVATORY TO BE MOUNTED 34" MAX. ABOVE THE FINISHED FLOOR TO RIM WITH KNEE SPACE OF 30" IN WIDTH AND 27" IN CLEAR HEIGHT. (29" CLEAR UNDER FRONT EDGE)
- INSTALL MIRROR 40" MAX. ABOVE THE FINISHED FLOOR TO BOTTOM EDGE OF REFLECTING SURFACE (MIRROR GLASS BOTTOM) AND 72" TO TOP.
- DISPENSERS TO BE MOUNTED A MAXIMUM OF 42" ABOVE THE FLOOR TO ALL OPERATING OR DISPENSING SLOTS.
- TOILET PAPER DISPENSERS MOUNTED 19" MIN. TO CENTER LINE ABOVE THE FLOOR AND 7" MINIMUM AND 9" MAXIMUM FROM FRONT EDGE OF WATER CLOSET MEASURED TO THE CENTERLINE OF THE DISPENSER



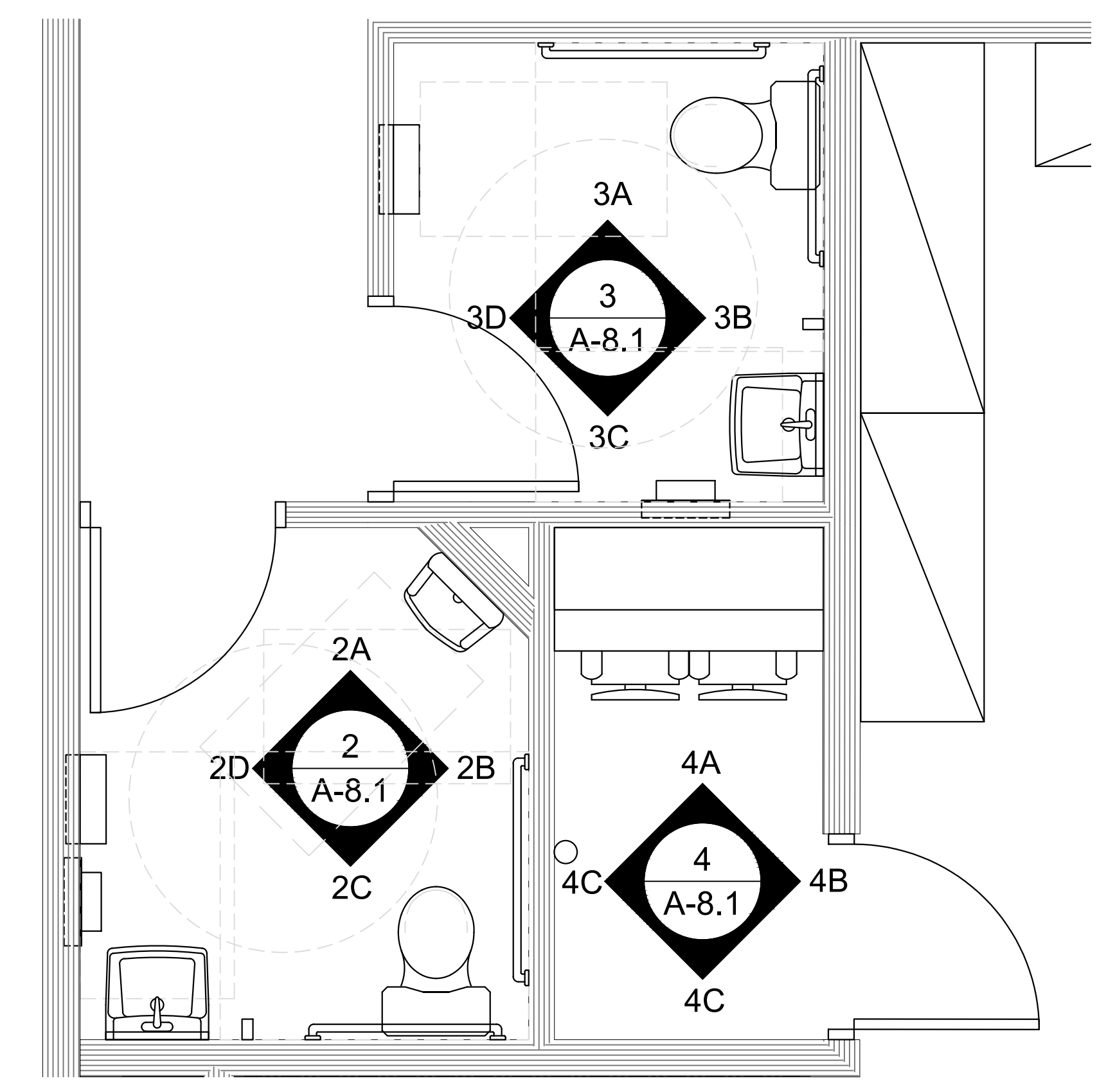
4 OFFICE
SCALE: 1/4" = 1'-0"



3 TOILET ROOM 109
SCALE: 1/4" = 1'-0"



2 TOILET ROOM 108
SCALE: 1/4" = 1'-0"



1 PLAN
SCALE: 1/2" = 1'-0"

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dunkin'
brands

kolbrook design

660 DAVIS ST., SUITE 300
TWIN OAKS, MO 63088
OFFICE 847.462.1981 | FAX 312.453.8669

CIVIL ENGINEER
STOCK & ASSOCIATES CONSULTING ENGINEERING

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT
PAMELA SELF LANDSCAPE ARCHITECTS

MEP ENGINEER
NEW YORK ENGINEERS

DEVELOPER

SEAL

STATE OF MISSOURI
STEVEN A. KOLBER
NUMBER
A-2014008361
ARCHITECT
EXP. 03/1/2020

PROJECT: **DD TWIN OAKS, MO**

1410 BIG BEND ROAD
TWIN OAKS, MO 63088
PC # 359504

DRAWING ISSUE

DESCRIPTION	DATE
PER COMMENTS	08/07/2020

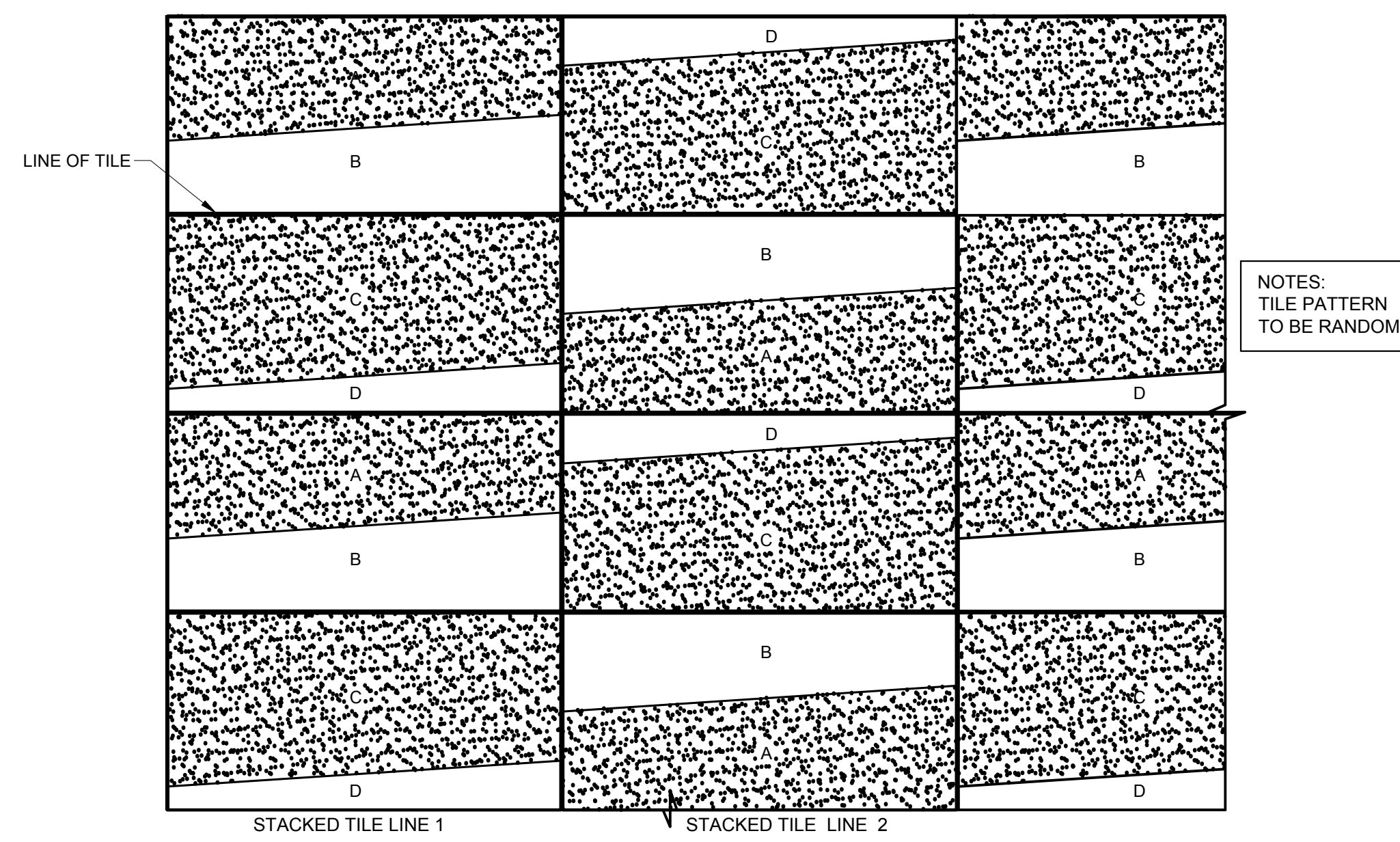
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INTERIOR ELEVATIONS

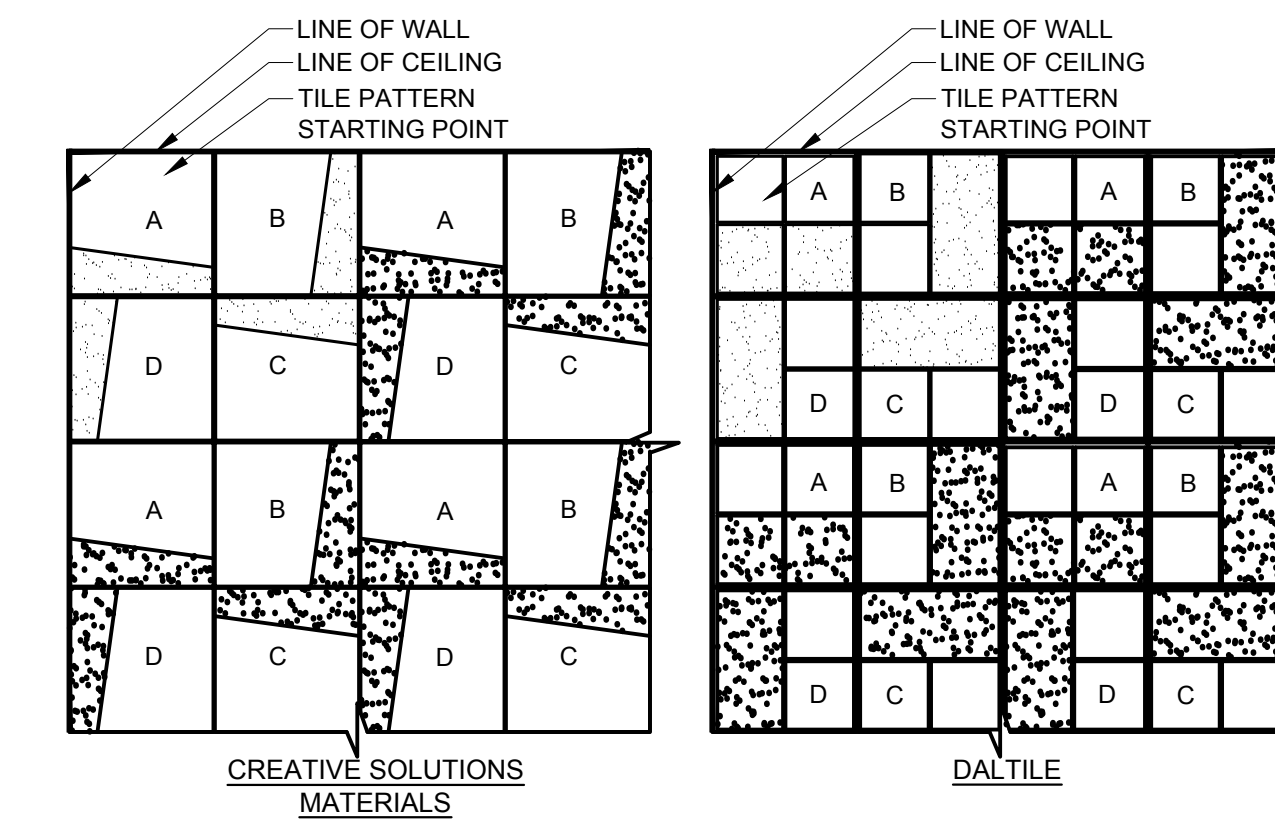
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A8.1

Kolbrook Job No. 1640.002 Consultant Job No. -

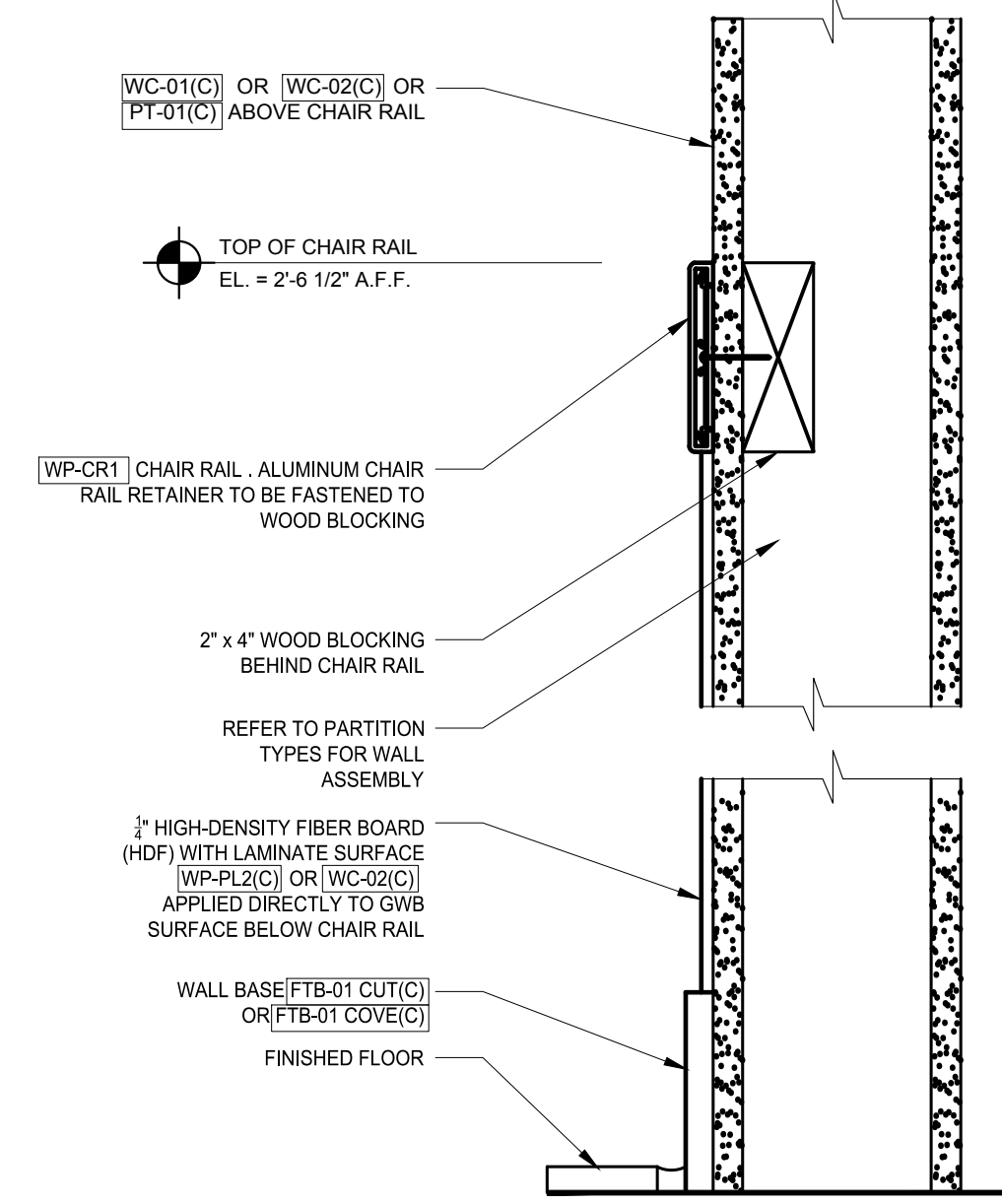


4 WALL TILE INSTALLATION PATTERN @ BACKLINE /SERVICE
SCALE: 1 1/2" = 1'-0"

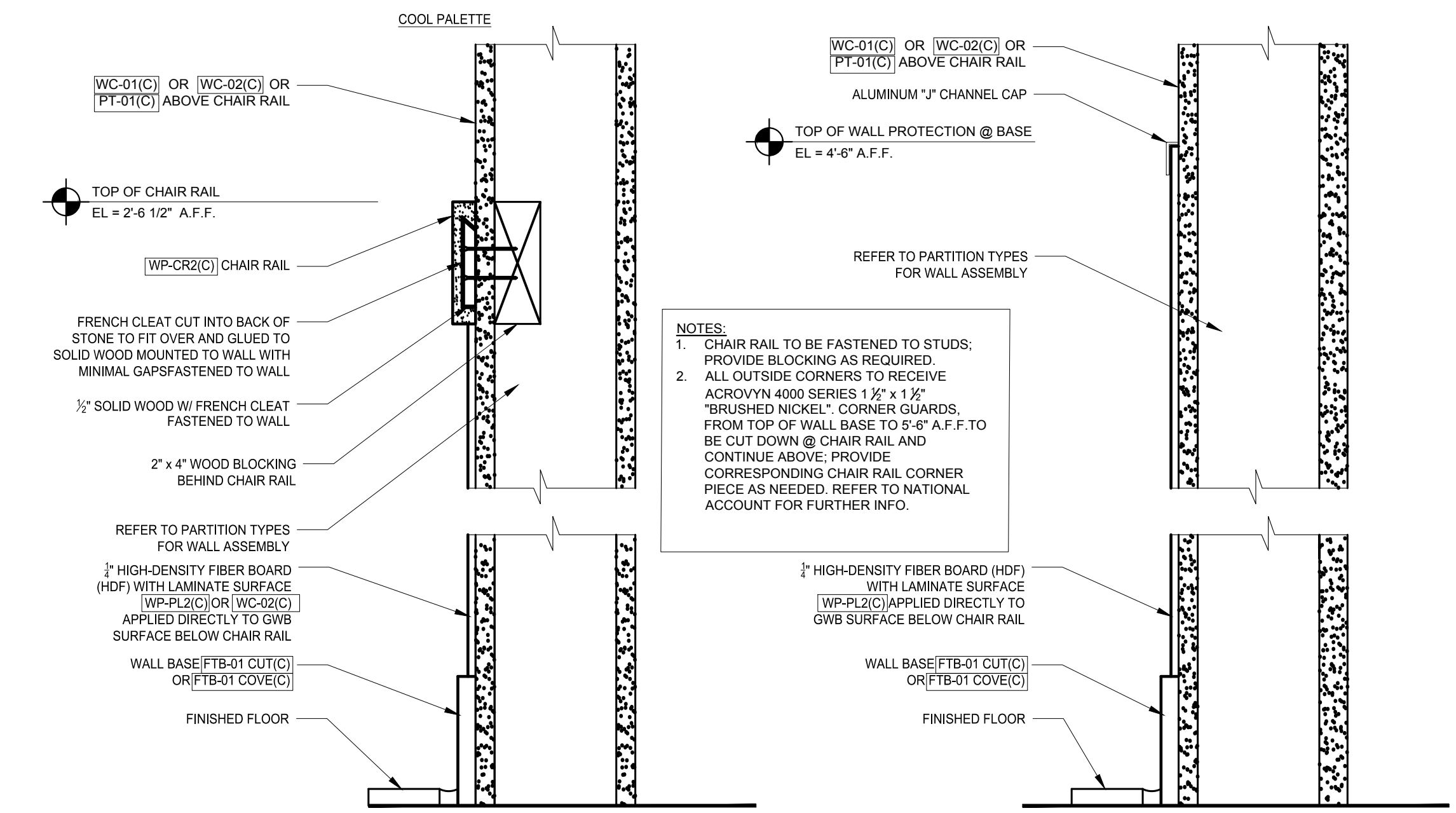


NOTES:
TILE PATTERN TO BE RANDOM. INSTALL PER THE GUIDELINES BELOW.
• TILE A - START OF TILE PATTERN.
• TILE B = TILE "A" ROTATED COUNTER CLOCKWISE 90 DEG.
• TILE C = TILE "B" ROTATED COUNTER CLOCKWISE 90 DEG.
• TILE D = TILE "C" ROTATED COUNTER CLOCKWISE 90 DEG.

3 ACCENT WALL TILE INSTALLATION PATTERN @ RESTROOM
SCALE: 1 1/2" = 1'-0"

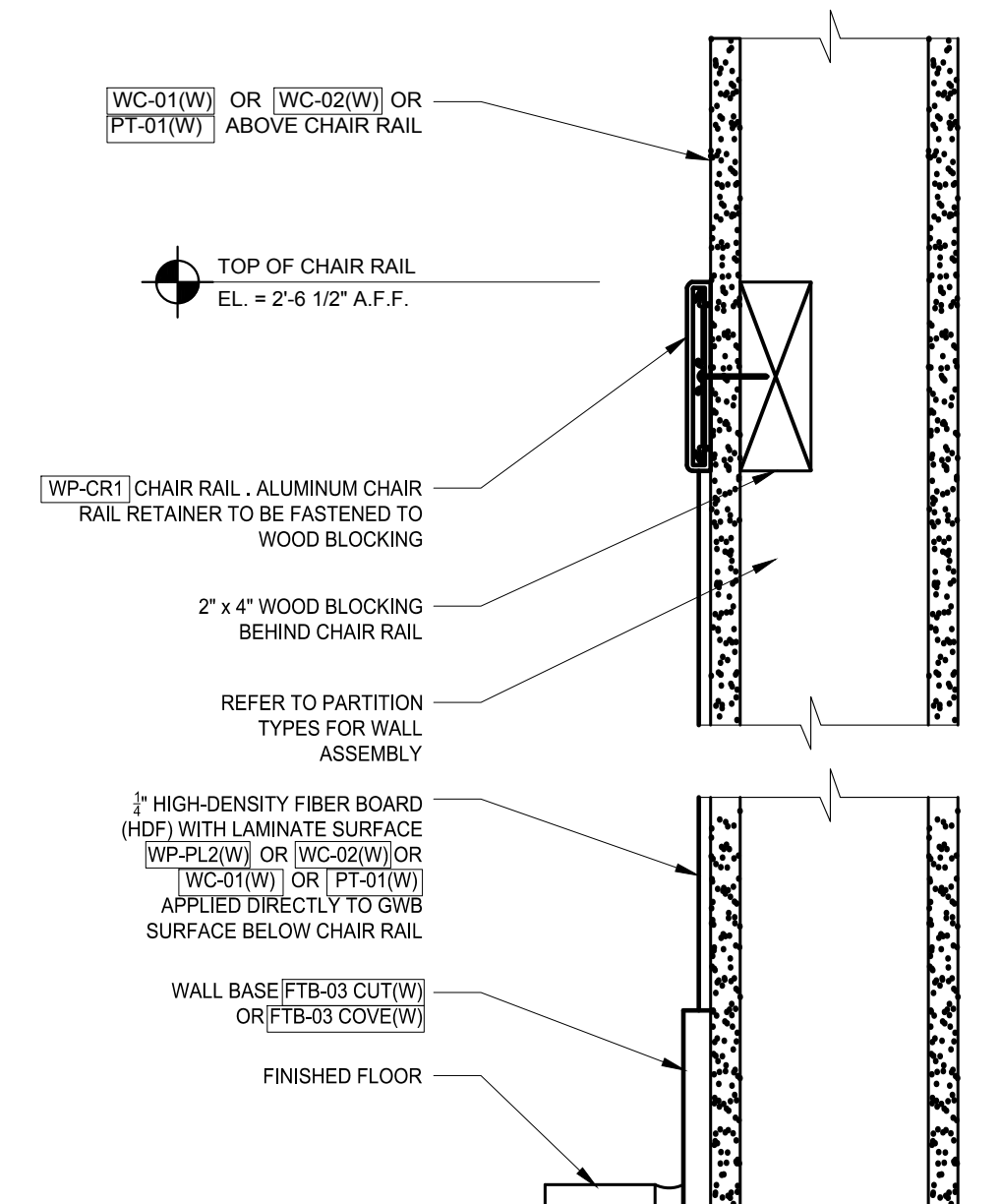


OPTION 1a

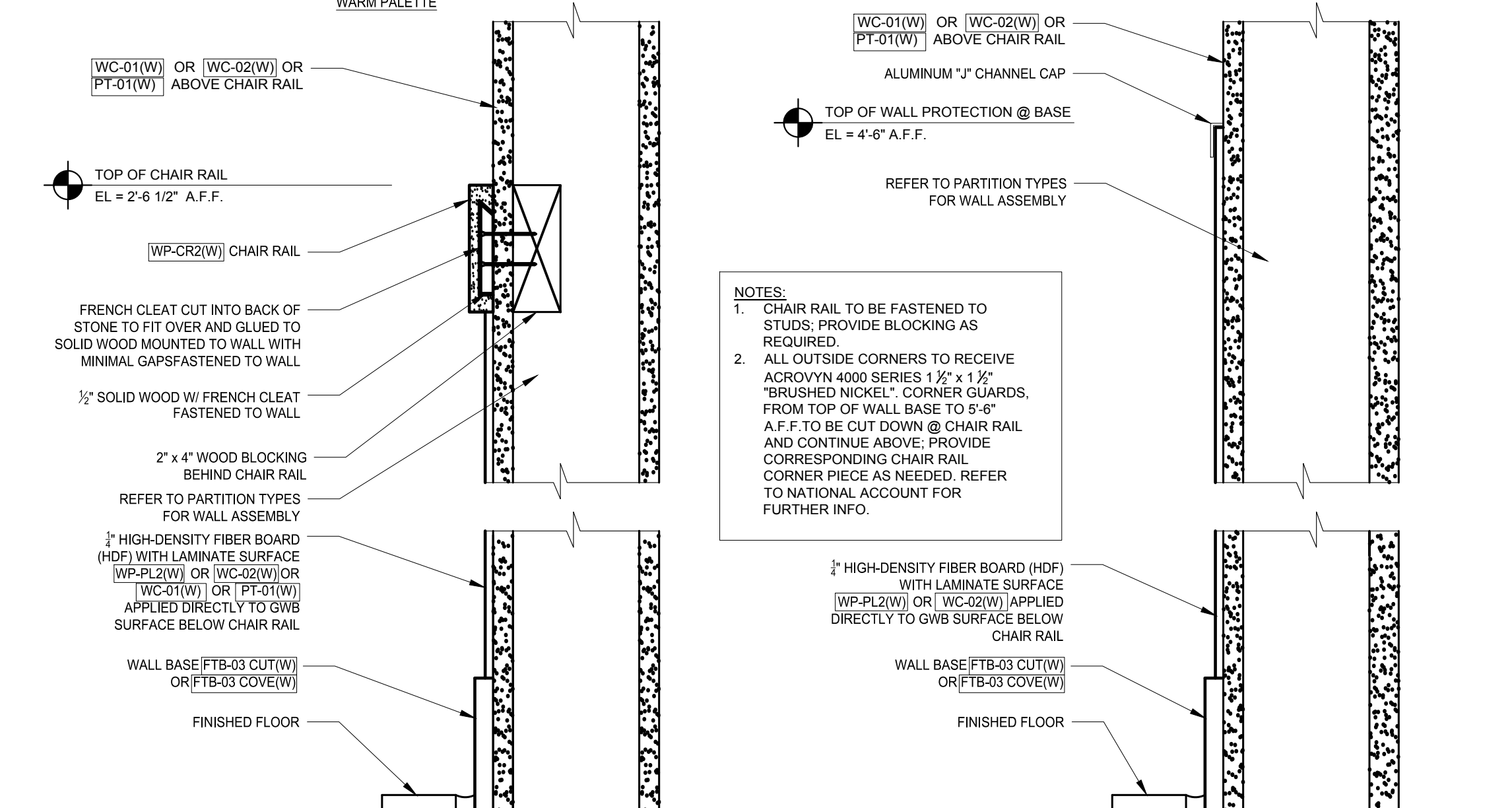


OPTION 2a

OPTION 3a



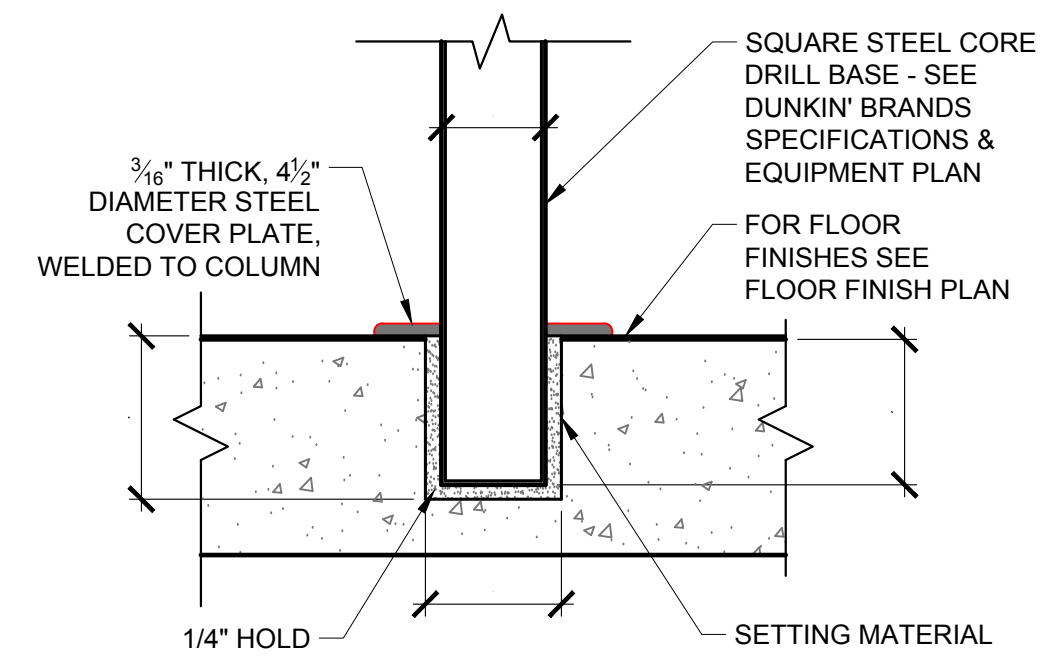
OPTION 1b



OPTION 2b

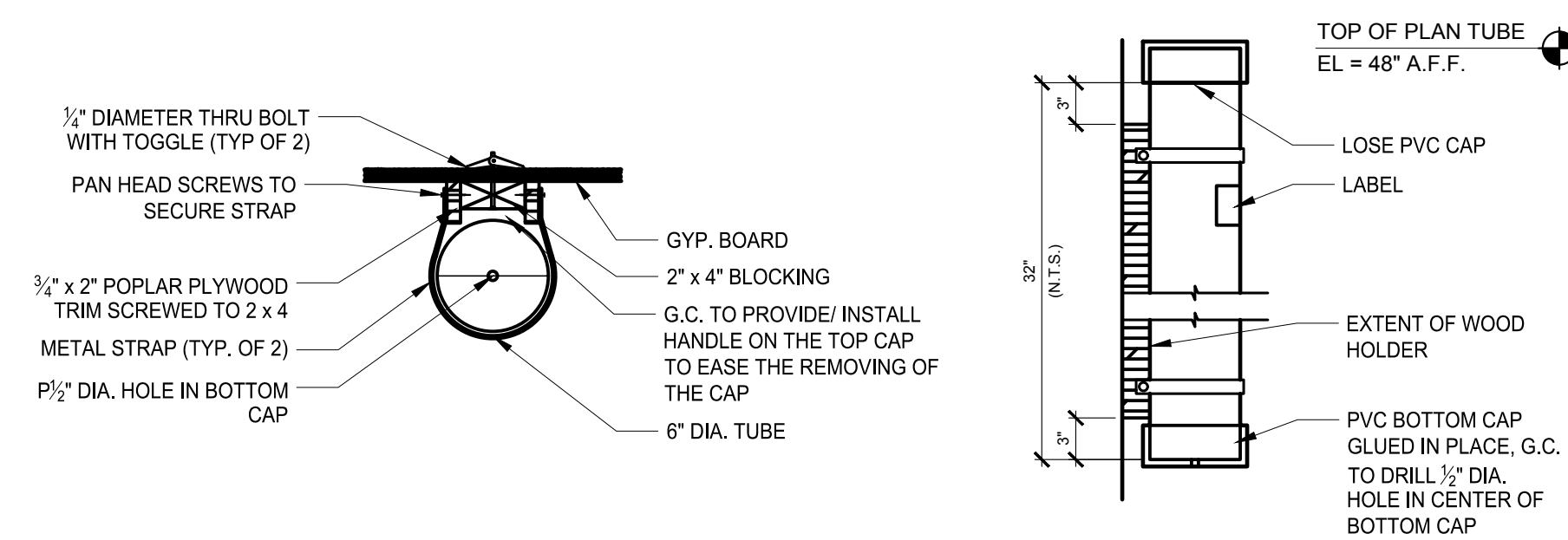
OPTION 3b

2 WALL PROTECTION OPTIONS AND DETAILS
SCALE: 3" = 1'-0"



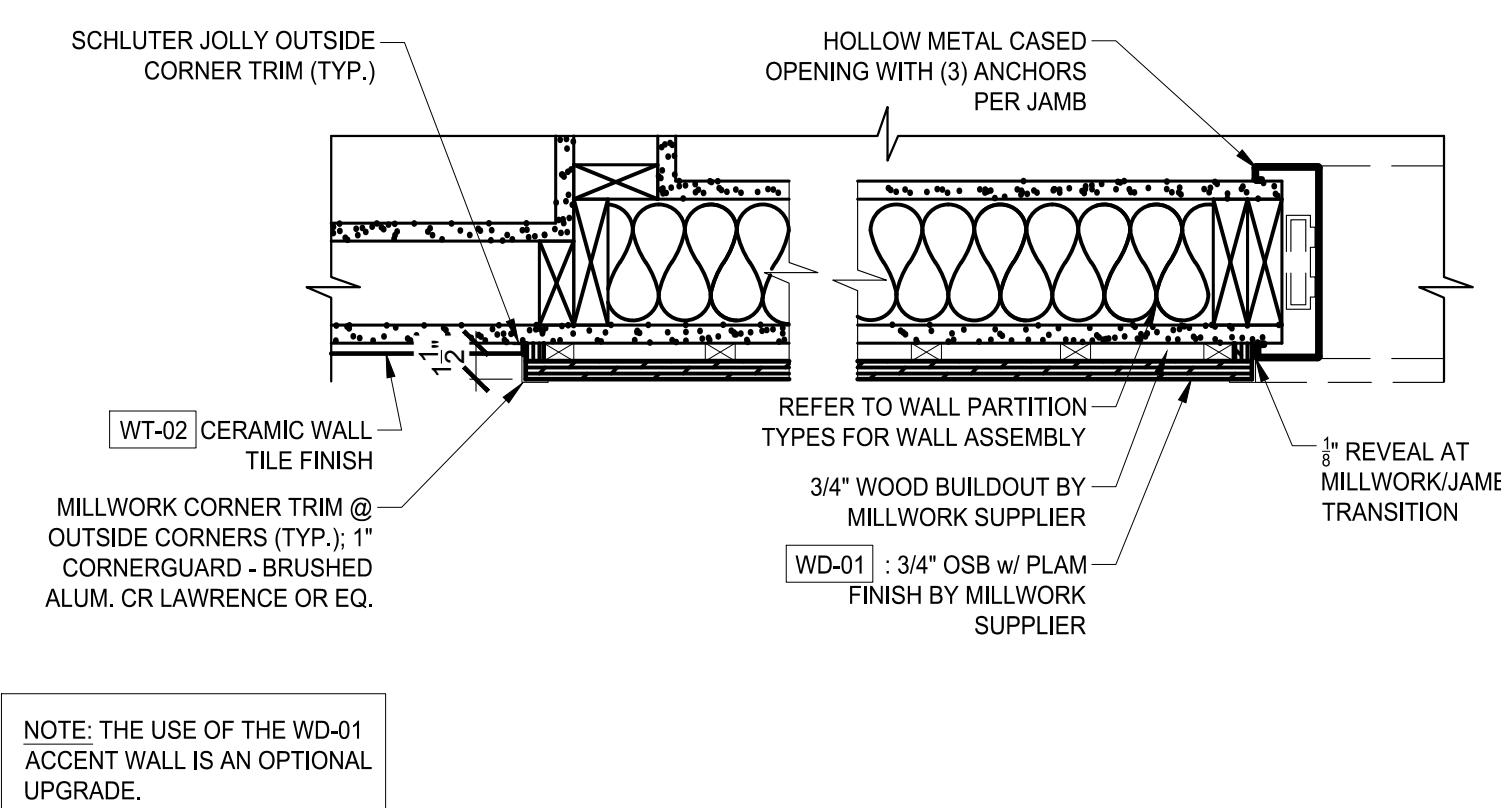
NOTE:
1. REFER TO FLOOR PLAN FOR LOCATION
2. CORE DRILL BY MILLWORK VENDOR

6 CORE DRILL TABLE DETAIL
SCALE: 1/4" = 1'-0"



NOTES:
1. UPON COMPLETION OF PROJECT, G.C. PROVIDE A COMPLETE AS-BUILT SET OF DRAWINGS FOR THE COMPLETED STORE (ARCHITECTURAL, MECHANICAL AND ELECTRICAL) AND PLACE DRAWINGS INTO THE PLAN TUBE HOLDER.
2. G.C. MUST PROVIDE AND ATTACH A LABEL (WITH CLEAR TAPE) STATING THIS TUBE CONTAINS STORE DRAWINGS AND IS NOT TO BE REMOVED WITHOUT THE CONSENT OF THE FRANCHISEE.
3. ENTIRE ASSEMBLY IS CONSTRUCTED BY G.C. IN FIELD. G.C. TO PAINT BLOCKING TO MATCH WALL.

7 PLAN TUBE DETAILS
SCALE: 1" = 1'-0"



NOTE: THE USE OF THE WD-01 ACCENT WALL IS AN OPTIONAL UPGRADE.

1 WOOD/TILE ACCENT WALL TRANSITION DETAIL
SCALE: 1 1/2" = 1'-0"

dunkin' brands.

kolbrook design

ARCHITECT

1410 BIG BEND ROAD
TWIN OAKS, MO 63008
PC # 369804

REGISTERED ARCHITECT
STATE OF MISSOURI
NUMBER A-201408361
EXPIRES 12/31/2020

CIVIL ENGINEER
STOCK & ASSOCIATES CONSULTING ENGINEERING

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT
PAMELA SELF LANDSCAPE ARCHITECTS

MEP ENGINEER
NEW YORK ENGINEERS

DEVELOPER

SEAL

PROJECT: **DD TWIN OAKS, MO**

DRAWING ISSUE

DESCRIPTION	DATE
PER COMMENTS	08/07/2020

DRAWN BY: WM, CD, ED
CHECKED BY: SWB
SHEET TITLE:

DETAILS

SHEET NO. **A9.1**

Kolbrook Job No. 1940.002 Consultant Job No. _____

PARTITION GENERAL NOTES

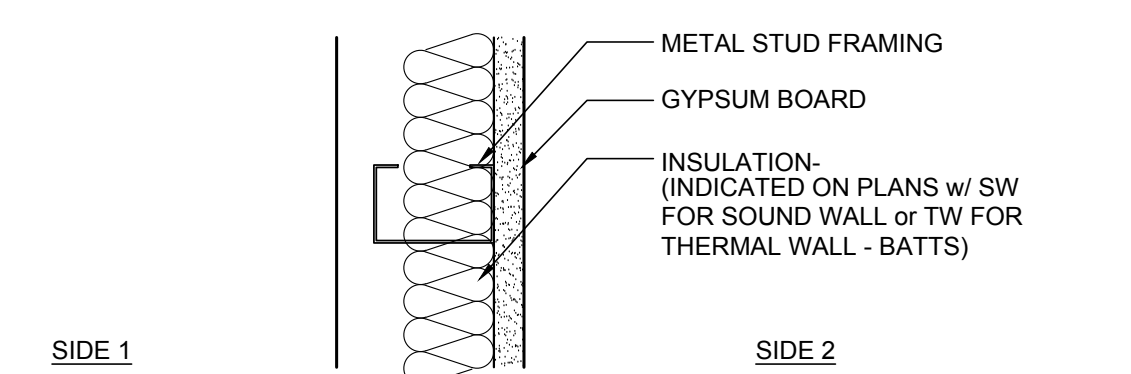
- FRAMING**
- All load bearing partitions shall be constructed per structural drawings and specifications.
 - All non-bearing partitions shall be constructed to limit deflection per building code restrictions and mfr's, whichever is greater. Chase walls shall resist loads perpendicular to shaft.
 - Provide double framing at joints of frames and cased openings.
 - Screw attach studs to runner track at both sides.
 - Isolate non-bearing framing from structural elements slip connections to prevent the transfer of loads to partition framing.
 - Control joints shall be installed at 30'-0" o.c. (maximum) and at major interruptions in the wall - ie doors, windows and equipment. See elevations and plans for locations and verify locations with Architect.
 - Provide fire retardant blocking for all wall mounted architectural woodwork, finish carpentry, toilet partitions and accessories, railings, shelving and similar mounted items. For mounting heights see interior elevations.
 - Cross bracing at all chase wall framing to be 12" high, 1/2" gyp. bd. or min. 2 1/2" metal studs at 1/3 pts.
 - Framing shall coordinate with all required mechanical, electrical, plumbing, fire protection, data and other related work.
 - Provide approved fire stopping materials at the ceiling plane in partitions which penetrate the ceiling.
 - Top of wall shall be constructed as follows:
S - to structural deck
T - thru ceiling
U - to underside of ceiling

- VAPOR BARRIER**
- Provide 6 mil Poly Vapor Barrier over mtl studs & insulation at all exterior wall furring as shown on plan.

- GYPSUM BOARD**
- Gypsum board shall be installed per ASTM C 840.
 - Install water resistant gypsum board at plumbing chase walls, within all toilet rooms, janitor closets and all wet areas- see plans.
 - Finish all corners and exposed edges of gypsum board with taped-in metal trim accessories. Use exposed trim only when specifically indicated.
 - Gypsum board partitions shall be taped and sanded smooth with no visible joints.
 - Recessed items shall be installed flush with partition (U.O.N.). Partition depth shall be adjusted to accommodate depth of recessed item.
 - All remaining existing walls and walls affected by demo to be patched and or skim coated for paint finish or laminated with 1/4" gypsum board for smooth paint finish, contractors option.

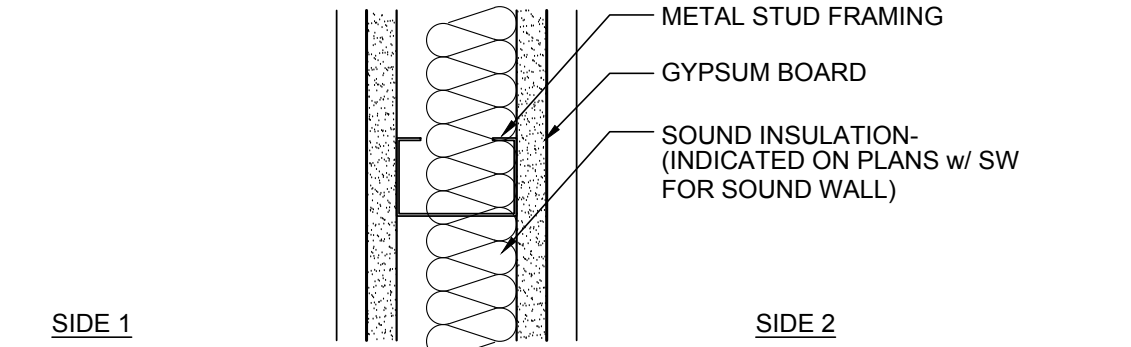
- FIRE-RESISTANT RATED PARTITIONS**
- All partitions indicated to be fire rated shall be constructed in strict accordance with the referenced fire resistance test. If no test is referenced, an industry recognized fire resistance test shall be used.
 - Fire resistant rated partitions shall extend from floor to structural deck above.
 - Approved fire-resistive materials must be used at all penetrations through fire rated assemblies.

PARTITION TYPE 1 (FURRED PARTITIONS)



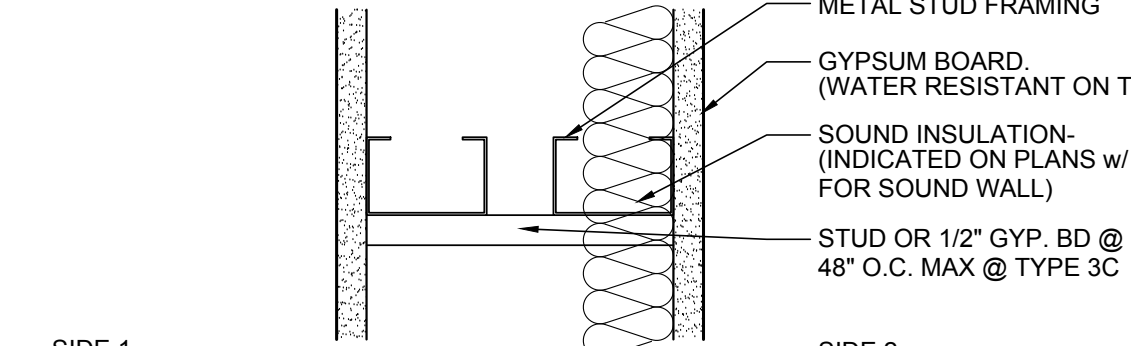
PARTITION TYPE	THK	FIRE RATING	TEST NUMBER	STC RATING	GYPSUM BOARD				FRAMING			NOTES
					TYPE	THK	TYPE	THK	SIZE	SPACING	GAUGE	
1A	4 1/4"	-	-	-	-	-	-	5/8"	3 5/8"	16" o.c.	MIN. 25ga	
1B	1 1/2"	-	-	-	-	-	-	5/8"	7/8"	16" O.C. VERTICAL	MIN. 25ga	
1C	3 1/8"	-	-	-	-	-	-	5/8"	2 1/2"	16" O.C.	MIN. 25ga	
1D	4 1/4"	-	-	-	-	-	WR	5/8"	3 5/8"	16" O.C.	MIN. 25ga	SEE NOTE B
1E	6 5/8"	-	-	-	-	-	WR	5/8"	6"	16" O.C.	MIN. 25ga	SEE NOTE B

PARTITION TYPE 2 (TYPICAL PARTITIONS)



PARTITION TYPE	THK	FIRE RATING	TEST NUMBER	STC RATING	GYPSUM BOARD				FRAMING			NOTES
					TYPE	THK	TYPE	THK	SIZE	SPACING	GAUGE	
2A	4 7/8"	-	-	-	-	5/8"	-	5/8"	3 5/8"	16" o.c.	MIN. 25ga	
2B	7 1/4"	-	-	-	-	5/8"	-	5/8"	6"	16" o.c.	MIN. 25ga	
2C	4 7/8"	1 HOUR	UL U465	-	X'	5/8"	X'	5/8"	3 5/8"	16" o.c.	MIN. 25ga	SEE NOTE A
2D	7 1/4"	1 HOUR	UL U465	-	X'	5/8"	X'	5/8"	6"	16" o.c.	MIN. 25ga	SEE NOTE A
2E	4 7/8"	-	-	-	WR	5/8"	WR	5/8"	3 5/8"	16" o.c.	MIN. 25ga	SEE NOTE B
2F	7 1/4"	-	-	-	WR	5/8"	WR	5/8"	6"	16" o.c.	MIN. 25ga	SEE NOTE B
2G	4 7/8"	1 HOUR	UL U465	-	WRX	5/8"	WRX	5/8"	3 5/8"	16" o.c.	MIN. 25ga	SEE NOTE C
2H	7 1/4"	1 HOUR	UL U465	-	WRX	5/8"	WRX	5/8"	6"	16" o.c.	MIN. 25ga	SEE NOTE C

PARTITION TYPE 3 (CAVITY WALLS)

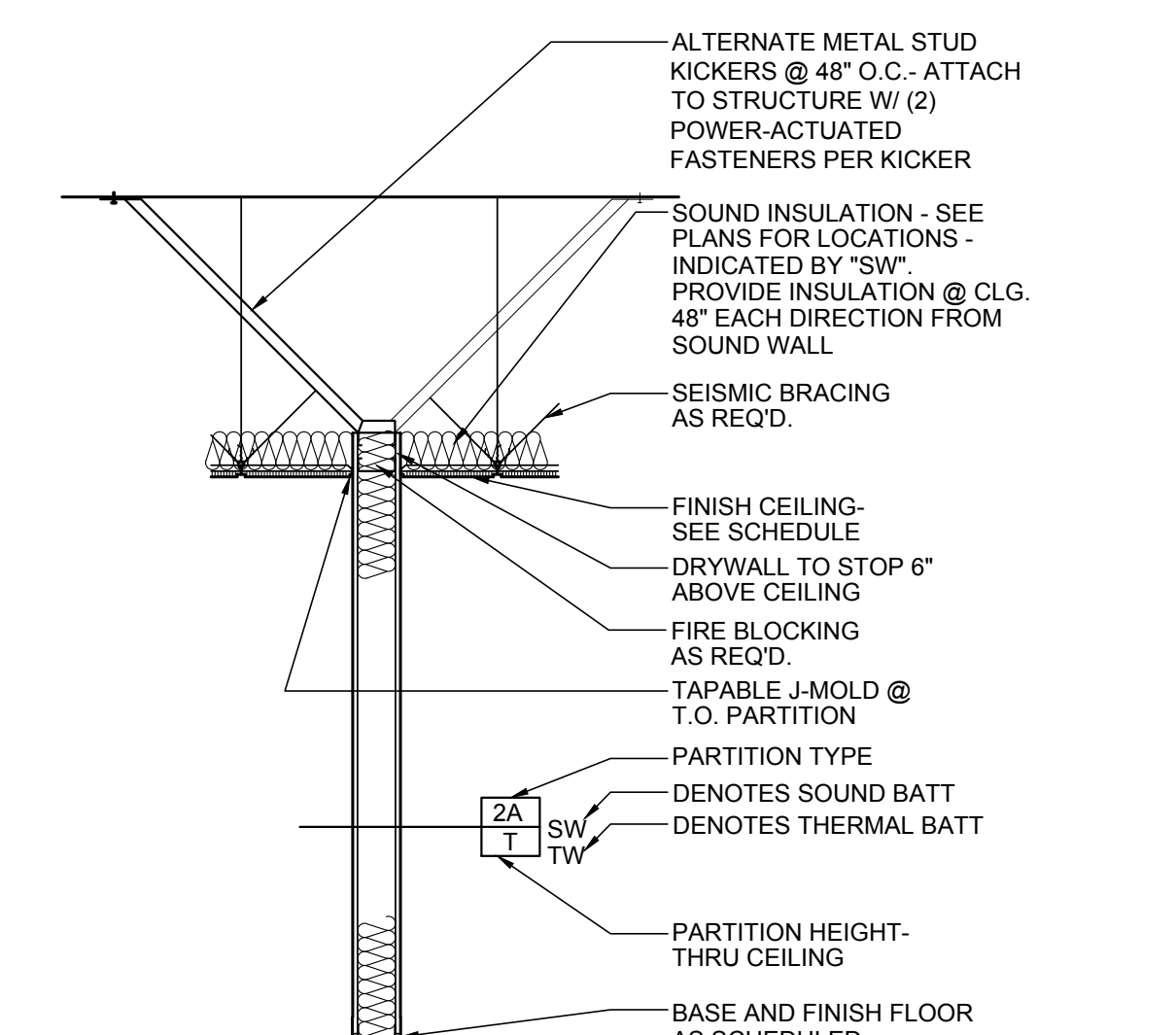


PARTITION TYPE	THK	FIRE RATING	TEST NUMBER	STC RATING	GYPSUM BOARD				FRAMING			NOTES
					TYPE	THK	TYPE	THK	SIZE	SPACING	GAUGE	
3A	varies	-	----	-	W.R.	5/8"	W.R.	5/8"	3 5/8"	16" o.c.	MIN. 25ga	

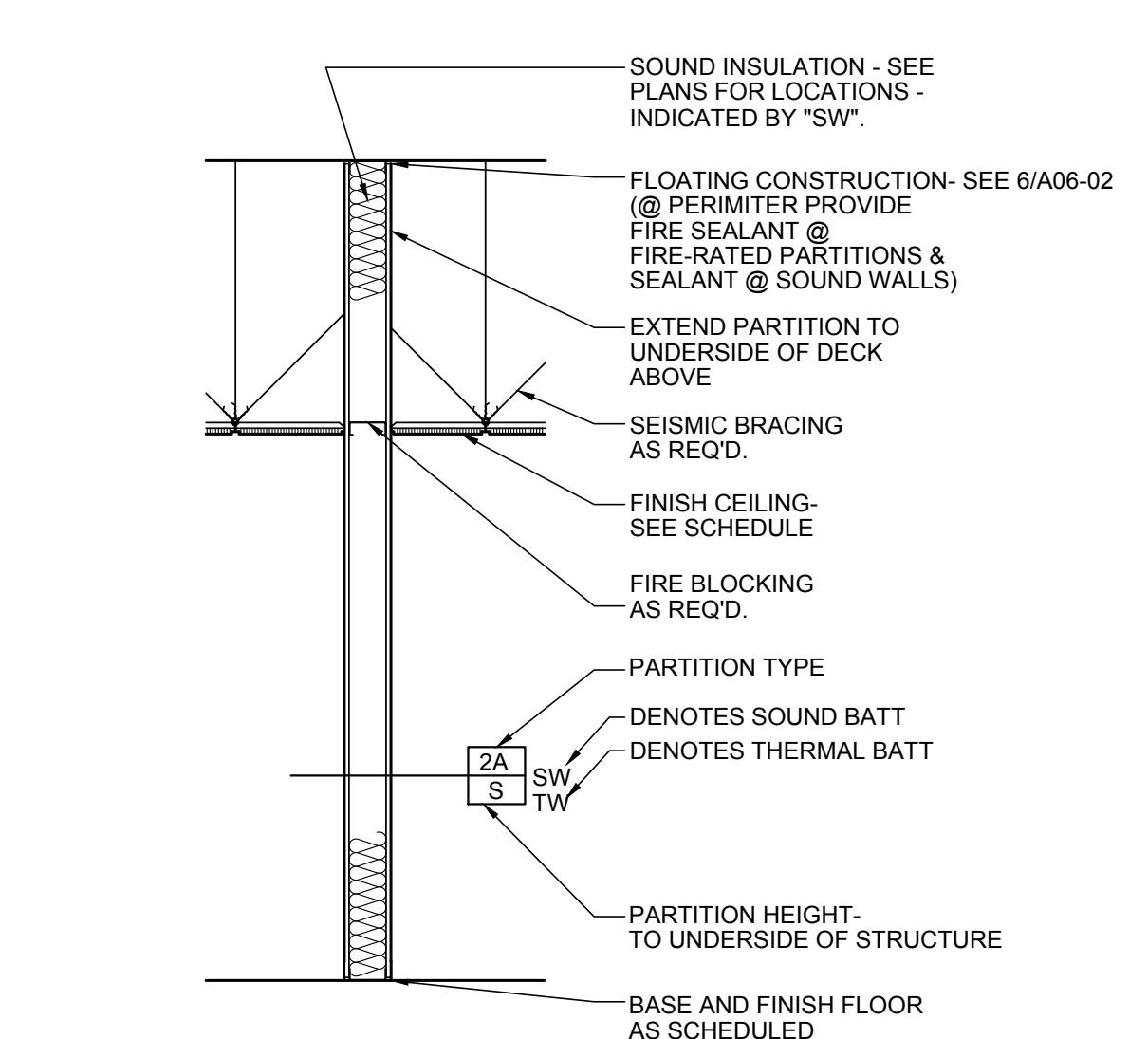
PARTITION TYPE NOTES

- PROVIDE HEAD OF WALL ASSEMBLY HW-D-0060
- WATER RESISTANT GYPSUM BOARD
- WATER RESISTANT/FIRE RATED GYPSUM BOARD

3 TYP. WALL DETAIL
SCALE: 1'-0" = 1'-0"

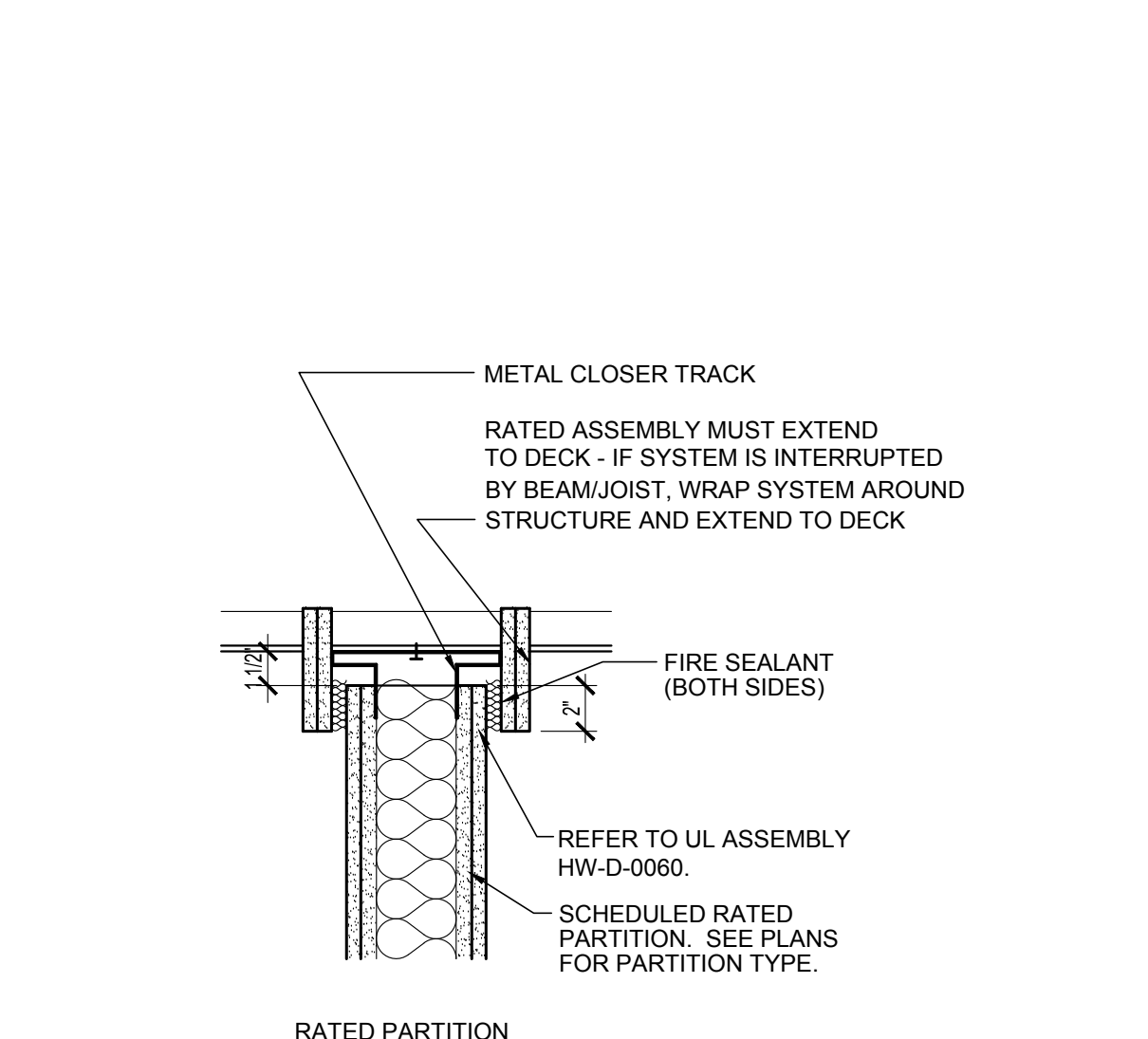


2 TYP. WALL DETAIL
SCALE: 1'-0" = 1'-0"

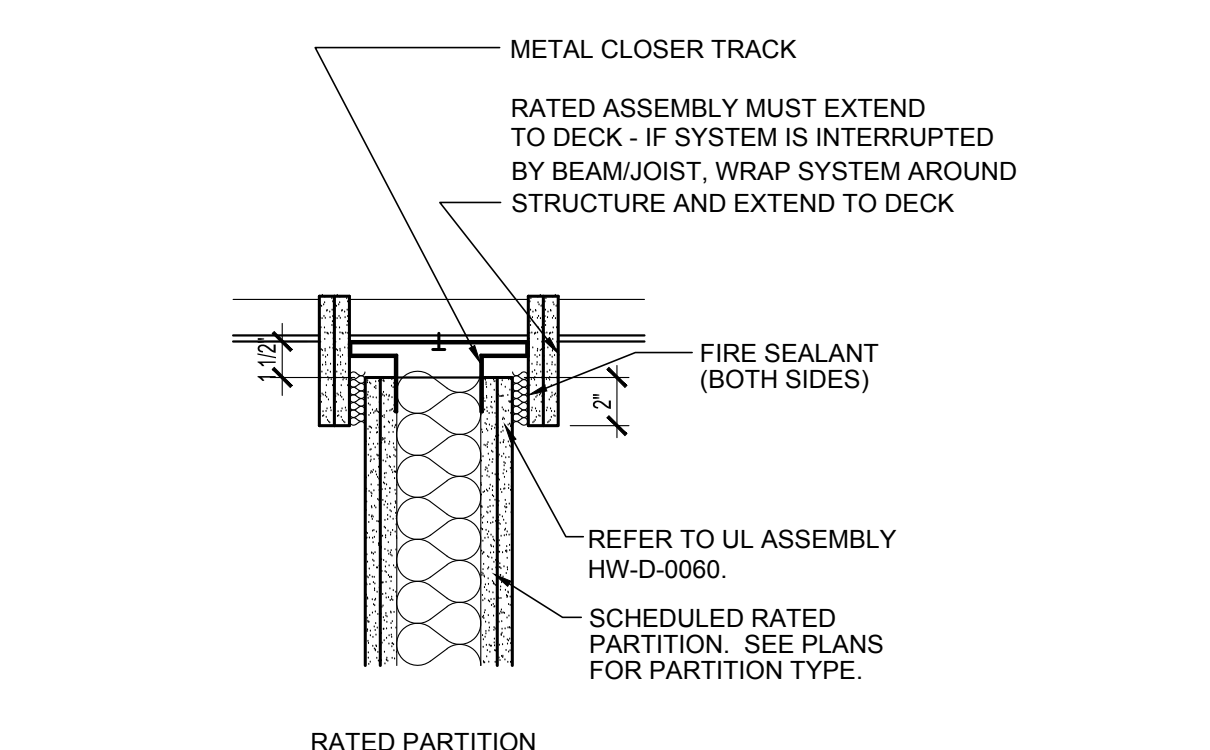


1 TENANT PARTITION (TYP.)
SCALE: 1'-0" = 1'-0"

5 DOOR DETAIL
SCALE: 1/2" = 1'-0"



4 SLIP JOINT DETAIL
SCALE: 1/2" = 1'-0"





August 14, 2020

Mr. Frank Johnson
City Clerk
City of Twin Oaks
1381 Big Bend Road
Twin Oaks, MO 63021

RE: Conditions for Approval Comments for Dunkin Donuts
1410 Big Bend Road

Mr. Johnson:

Please accept this correspondence as a narrative addressing the "Conditions for approval" for the project referenced above. Please find below responses to your remarks dated August 07, 2020 (and attached herewith).

- It is understood that 14 spots is allowed.
 - Please see SP1.1 for new arrow configuration.
- It is understood that retail or restaurant is approved for future tenant.
- It is understood that façade is approved. Material samples have been sent to your attention.
- It is understood that landscaping has been approved.
- It is understood that lighting is approved, please see attached photometrics plan.
- It is understood sign plan is approved with the conditions
 - We are currently working diligently with ownership and the sign contractor to resolve signage issues.
 - Understood
 - See A5.1 for South Elevation tenant wall sign size

If you have any questions or comments, please contact me at your earliest convenience.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "SK", with a long horizontal line extending to the right.

Steven Kolber
President / Principal
Kolbrook Design, Inc.
skolber@kolbrook.com

Cc: Matt Rossman, Doron DeJong, Ross Brown

828 Davis Street.
Suite 101
Evanston, IL 60201
www.kolbrook.com

Will McNeil

From: Frank Johnson <fjohnson@cityoftwinoaks.com>
Sent: Friday, August 07, 2020 11:30 AM
To: Ross Brown; Matt Rossman; Will McNeil
Cc: Rost Paul; Tiffany Campbell
Subject: Conditions for Approval from Aug. 5 Board Meeting

Follow Up Flag: Follow up
Flag Status: Flagged

Good morning all,

I wanted to follow up and provide the specifics on the motion from the board Wednesday night so that you know exactly what you need to get approved at the board meeting on Aug. 19. The board moved that an ordinance be prepared for the August 19, 2020 board meeting that grants:

- Approval of the requested modification of the parking lot plan to allow 14 parking spaces (based on shared parking) and the parking lot layout as submitted
 - Clarify installation of arrows on parking lot to create lane pointing to drive thru as shown on SP1.1 (to reduce confusion)
- Approval of a retail sales or restaurant use in adjoining tenant space Because the Dunkin restaurant will meet the "future restaurant" condition of the original final development plan
- Approval of the façade (with increased brick veneer) but still need material samples prior to August 19 Board meeting to confirm colors match the Big Bend Square
- Approval of landscaping plan as submitted
- Approval of lighting provided that applicant submits a photometric plan as part of Amended Final Development Plan (prior to Board meeting)
- Sign Plan approval with following conditions and modifications:
 - Denied adding proposed signage on pylon sign beneath the existing sign space that the City already approved, via Ordinance 18-33, on the pylon sign for businesses in the Big Bend Square development
 - If applicant cannot use pylon sign as is, they are welcome to discuss alternate signage in the future
 - Allow up to five (5) wall signs for Dunkin space and up to 3 wall signs for adjacent tenant space at the size and location shown on the sign plan and elevations submitted with amended final development plan; *provided* that the wall signs shall only be installed on south elevation for each tenant after full use of allocation of wall signs for north, east and west elevations has been used by each tenant.
 - Include size for wall sign for tenant space on south elevation on Amended Final Development Plan

A RESOLUTION APPROVING AND AUTHORIZING THE ESTABLISHMENT OF A DEBT SERVICE RETIREMENT ACCOUNT AND POLICY FOR FUNDING THE ACCOUNT.

WHEREAS, on April 7, 2017, the City of Twin Oaks executed and delivered Certificates of Participation (City of Twin Oaks, Missouri, Lessee), Series 2017 (the “Financing”) in the amount of \$1,600,000.00 to allow for the construction of a municipal government center (Town Hall),

WHEREAS, under the terms of the Financing, the City has a significant lump sum Certificate payment—specifically \$712,688.61—that is due April 1, 2027 (the “Last Certificate Payment”); and,

WHEREAS, the Board of Aldermen has determined that it is in the best fiscal interest of the City to begin setting aside funds to meet this Last Certificate Payment; and,

WHEREAS, the Board of Aldermen desires to establish a plan and policy to ensure that the City is in the best possible position to meet the debt obligation in the form of the Last Certificate Payment.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF TWIN OAKS, MISSOURI, AS FOLLOWS:

Section 1. *Policy.* In order to be prepared to make the Last Certificate Payment and ensure no interruption in services in fiscal year 2027, effective fiscal year 2020, the City will deposit \$100,000 per year (including for FY 2020) into a dedicated bank account established in Section 2.

Section 2. *Account Established.* The Board of Aldermen hereby approves, and the City Clerk is authorized to establish, a savings or other interest-bearing account with Enterprise Bank, named *Debt Service Retirement Account*.

Section 3. For the remainder of FY 2020 and beginning September 1, the City Clerk is authorized and directed to transfer \$25,000 each month from the General Fund's Enterprise Bank money market account, number [xxxxxx] (the “General Fund”), to the Debt Service Retirement Account.

Section 4. Then, beginning in January 2021, the City Clerk is authorized and directed to transfer \$8,333.33 each month from the General Fund to the Debt Service Retirement Account.

Section 5. Disbursements from the Debt Service Retirement Account may only be made by presentation to Enterprise Bank of a resolution of the Board of Aldermen indicating authorization by the Board.

Section 6. This Resolution shall be effective upon its passage by the Board of Aldermen and execution by the Mayor.

THIS RESOLUTION WAS PASSED AND APPROVED THE __ DAY OF AUGUST 2020, BY
THE BOARD OF ALDERMEN OF THE CITY OF TWIN OAKS, MISSOURI.

Russ Fortune, Mayor

Attest:

Frank Johnson, City Clerk

RESOLUTION NO. 20-23

**A RESOLUTION OF THE TWIN OAKS BOARD OF ALDERMEN
APPROVING THE CITY CLERK'S REQUEST TO DESTROY CERTAIN
RECORDS.**

BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF TWIN OAKS, MISSOURI, AS FOLLOWS:

Section 1. The Board of Aldermen hereby approves the City Clerk's request, attached as "Exhibit 1" and incorporated herein by reference, to destroy certain records of the City in keeping with the record retention policies of the City of Twin Oaks and the State of Missouri.

Section 2. This Resolution is adopted and shall be in full force and effect on and after its passage and approval.

THIS RESOLUTION WAS PASSED AND APPROVED THE 19th DAY OF AUGUST, 2020, BY THE BOARD OF ALDERMEN OF THE CITY OF TWIN OAKS, MISSOURI.

Russ Fortune, Mayor

Attest:

Frank Johnson, City Clerk



Records to be destroyed with approval of Board of Aldermen

Contracts, Leases, and Agreements

Local Records Retention Schedule Code GS050

Minimum Retention: 2 years after expiration

While the City will retain microfiche copies of these contracts, the following paper copies of contracts will be destroyed:

- Business Licenses — 2013-14, 2014-15, 2015-16, 2016-17
- _____
- _____
- _____

Approved by Board of Aldermen at Board Meeting on August 19, 2020.

Frank Johnson
City Clerk

Records destroyed on _____, and witnessed by _____.

Memo to: Board of Aldermen
From: Frank Johnson, City Clerk
Subject: Potential Conflicts of Interest in Plan Review
Date: August 19, 2020

BOARD ACTION REQUIRED:

- Determine policy for handling potential conflicts of interest for engineering review of plans and permits.

BACKGROUND

City staff recently meet with a business owner concerning a proposed developed in the City and reviewed some preliminary development plans. These plans included a survey performed by BFA Engineering, the same firm that the City uses for review of all development plans and permit applications.

Staff advised the business owner that this could present a possible conflict of interest, and that the City would need to make a decision regarding how to handle their plan review. Potential considerations on this decision include:

- The survey was only one section of the much larger plan, and is the only section on which BFA worked. They are not serving as the lead design or engineering firm for the project.
- In discussing the matter with BFA, they stated that the engineers that handle the City's plan review (Tiffany Campbell and Ray Frankenburg) did not work on this project. Further, the work was performed some time ago, and they are not certain they will do any future work on this project.
- While there is some internal separation at BFA, there potential for conflict of interest remains. It is also important to note that the mere appearance of a conflict of interest can matter a great deal to public perception.
- There would be substantial associated cost and time involved to find a new engineering firm to handle the plan review for such cases where this kind of conflict arises. Moreover, that firm is not likely to have the institutional knowledge and understanding of the city's ordinances and zoning code.

With these considerations in mind, the board has several options:

- Allow BFA to review plans for which it may have performed some work, provided that the work is minor relative to the overall project and that it was not done by the staff assigned to the City.
- Request that BFA refrain from bidding on projects located in the City of Twin Oaks in the future.
- Perform a search for an alternate engineering firm that can review projects when this kind of conflict arises.

City Clerk's Report

City of Twin Oaks, Board of Alderman

August 19, 2020

General Updates

Capital Improvement Program

- The City is planning to hold a workshop on the 2020 and 2021 Capital Improvement Program at the next board meeting on Sept. 2 to discuss allocating funds for potential capital projects.

Project Updates

Meramec Station Road Striping

- Following approval by the board at the August 5 meeting, Traffic Control completed the restriping of Meramec Station Road on Friday, August 14.

Dunkin Donuts Development Plan

- The City received the latest revisions to the development plan and the material samples on August 14. The plans were incorporated into an ordinance for final review by the board.

Golden Oak Court Lighting

- Work started on installing the new light in Golden Oak Court but had to be halted after the contractor hit several unmarked wires. The contractor will be working with Ameren and the utility locator this week to address the issue so work can proceed. The hole has also filled with water from recent storms and will need to be pumped out.
- The City is expecting to receive a request for a change order from the contractor to compensate for the 2 to 4 hours of "downtime" that will be incurred when they wait for Ameren to come and test the unmarked wires.

Boly Lane Entrance Lighting

- Approved contract has been sent to the contractor. The pole has been ordered and a start date for the work will be scheduled when it arrives.

Additional Notes

- Review of the building permit for the deck on Autumn Leaf has been completed. A permit is not able to be issued at this time as the proposed work does not meet the city's requirements for minimum yard sizes. The property owner was notified by email and on August 14. A physical copy of the city's response to the application will also be mailed.

- City staff has completed an update to the City's permit applications and the corresponding page for the website. Additional information explaining the permitting process has been added and all applications are now available as form-fillable PDFs.